

SITE PLAN FOR PROPOSED WAREHOUSE 33 LAKE GEORGE STREET DEVENS, MA.

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:

JONAS ANGUS
TPE SOLUTIONS, INC.
3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464

FOR REGISTRY USE ONLY

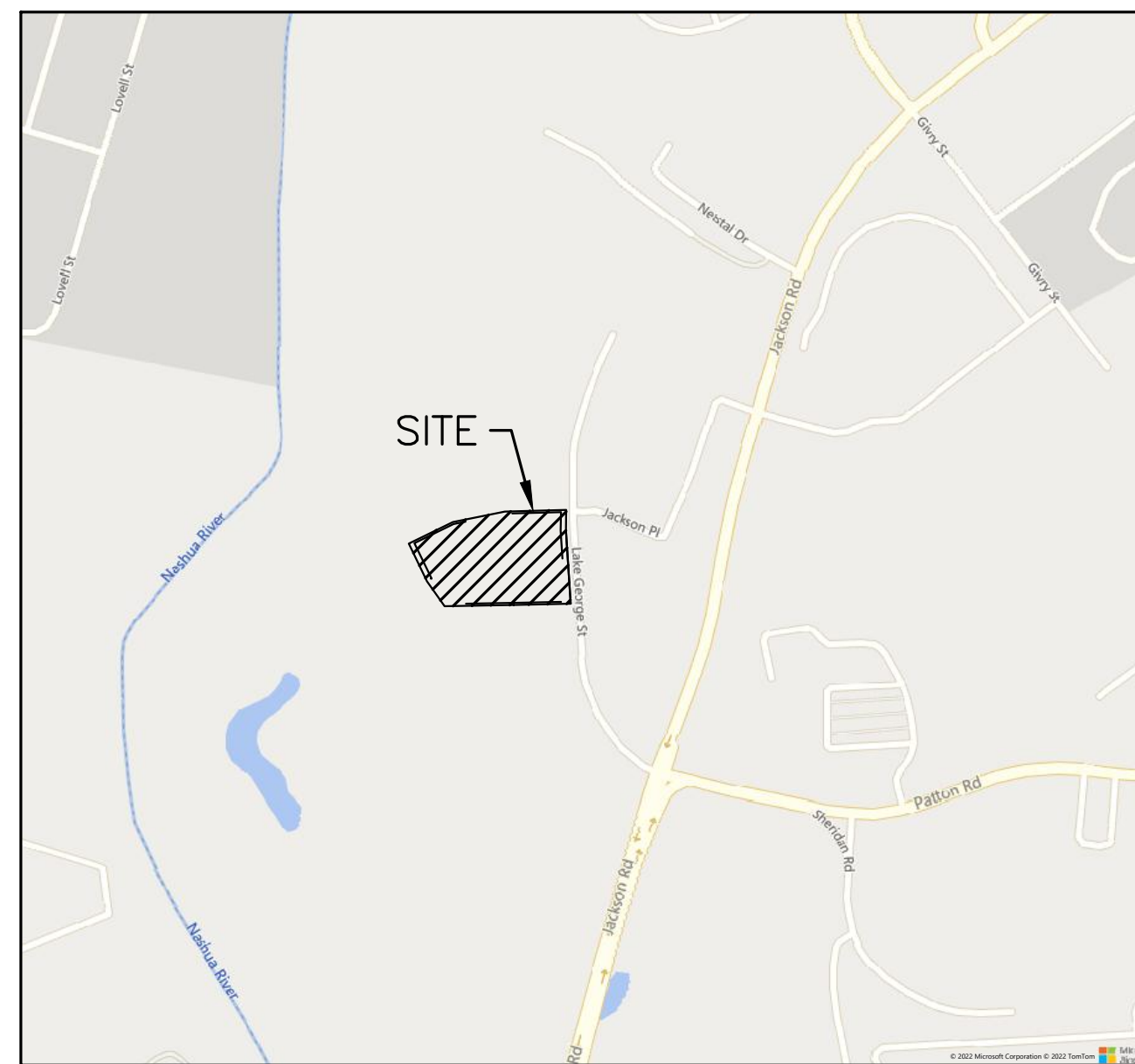
PROPOSED WAREHOUSE
33 LAKE GEORGE STREET
DEVENS, MA, 01434
WORCESTER COUNTY

GENERAL NOTES:

- EXISTING CONDITIONS SHOWN PER PLAN ENTITLED "EXISTING CONDITIONS SURVEY" PREPARED BY WSP USA INC. DATED DECEMBER 6, 2022.
- THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
- PROPOSED USE WILL NOT GENERATE ELECTROMAGNETIC INTERFERENCE TO ANY SENSITIVE RECEPTOR. INTERFERENCE WITH THE HARVARD-SMITHSONIAN RADIO TELESCOPE (1300-1720MHZ) IS SPECIFICALLY PROHIBITED.
- PROPOSED USE WILL NOT CAUSE PRONOUNCED, MULTIPLE PATTERNS OF NOISE OR VIBRATION NUISANCE TO, OR INTERFERE WITH, ANY SENSITIVE RECEPTOR.
- A DEP AIR QUALITY PERMIT IS NOT REQUIRED.
- THIS DEVELOPMENT HAS BEEN DESIGNED TO ACCOMMODATE A WB-67 TRACTOR TRAILER AT THE LOADING DOCKS.

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LOCUS MAP
1"=800'

WAIVERS REQUESTED

- 974 CMR 3.02(3)(A) "THE SITE PLAN SHALL BE 24" X 36" AND AT A SCALE OF 1"=40' UNLESS AN ALTERNATIVE SCALE IS APPROVED BY THE DIRECTOR."
- 974 CMR 3.02(3)(A)(6) "TOPOGRAPHY FOR THE ENTIRE SITE IN 2' INTERVALS [...]"
- 974 CMR 3.04(1)(A) "THE MINIMUM SETBACKS OF STRUCTURES FROM LOT LINES SHALL BE AS FOLLOWS: FRONT YARD: 25 FEET, SIDE YARD: 10 FEET"
- 974 CMR 3.04(3)(10)(B) PARKING IN VIEWSHED
- 974 CMR 3.06(4)(B) "35' ADDITIONAL SRA BUFFER DISTURBANCE"
- 974 CMR 3.04(4)(B)(4) "POST VALVE INDICATOR"
- 974 CMR 3.02(3)(B)(6)(A) "INDIVIDUAL MARKING OF TREES"
- 974 CMR 4.08(3)(C) THE POST DEVELOPMENT PEAK RATES OF STORMWATER DISCHARGE OFF-SITE SHALL NOT BE GREATER THAN THE PRE DEVELOPMENT PEAK RATES.
- 974 CMR 4.08(6)(B) "CLOSED DRAINAGE SYSTEMS (CDS) AND SWALES SHALL BE DESIGNED TO ACCOMMODATE THE 25-YEAR STORM EVENT BASED ON THE RATIONAL METHOD WITHOUT SURCHARGING.

DEC APPROVAL

CHAIRPERSON _____	DATE _____	COMMISSIONER _____
COMMISSIONER _____		COMMISSIONER _____
COMMISSIONER _____		COMMISSIONER _____
COMMISSIONER _____		COMMISSIONER _____
COMMISSIONER _____		COMMISSIONER _____
COMMISSIONER _____		COMMISSIONER _____

ASSESSOR INFORMATION

DEVENS PARCEL 8-21-401

REFERENCES

- EXISTING CONDITIONS SHOWN PER PLAN ENTITLED "EXISTING CONDITIONS SURVEY 33 LAKE GEORGE STREET" PREPARED BY WSP USA INC. DATED DECEMBER 6, 2022 TIED TO VERTICAL DATUM NGVD 1929.
- WETLAND FLAGGING DELINEATED BY GREG HOCHMUTH OF WILLIAMS & SPARAGES ON NOVEMBER 2, 2022.

ZONING DISTRICTS

INNOVATION & TECHNOLOGY BUSINESS
VIEWSHED OVERLAY DISTRICT
WATER SUPPLY PROTECTION OVERLAY DISTRICT

DIMENSIONAL REQUIREMENTS

	REQUIREMENT	PROPOSED
MINIMUM LOT AREA	2 AC	6.65± AC
MINIMUM LOT WIDTH	N/S	343± FT
MINIMUM LOT DEPTH	N/S	602± FT
MINIMUM LOT FRONTAGE	100'	448± FT
MINIMUM FRONT YARD	25'	10± FT*
MINIMUM SIDE YARD	10'	62± FT
MINIMUM REAR YARD	25'	446± FT
MAXIMUM IMPERVIOUS COVER	75%	23%±
OPEN SPACE	N/S	77±%
AREA TO BE PAVED**	N/S	32,315± SF
MAXIMUM STORIES	N/S	1
MAXIMUM BUILDING HEIGHT	75 FT	39± FT
MAXIMUM FLOOR AREA RATIO	0.25	0.11
BUILDING GROSS FLOOR AREA	N/S	34,179± SF
BUILDING FOOTPRINT	N/S	31,511± SF

- * WAIVER REQUIRED FOR FRONT YARD SETBACK
- ** INCLUDES ALL SITE IMPERVIOUS COVER, EXCEPT BUILDING FOOTPRINT

PARKING REQUIREMENTS

MANUFACTURING AND INDUSTRIAL 2 SPACES PER 1,000 SF
NET FLOOR AREA = 34,179 SF X 2 SP/1,000 SF = 69 SPACES MAXIMUM
SPACES PROPOSED = 22 SPACES
ADA PARKING SPACES:
REQUIRED = 1 SPACE (974 CMR 3.04(3)(A1.C)
PROVIDED = 2 SPACE

SITE PLAN REVIEW REQUIRED

PER DEVENS ZONING BYLAWS CHAPTER III SECTION H SITE PLAN REVIEW SUBSECTION 1 GENERAL, "SITE PLAN REVIEW...SHALL BE TRIGGERED BY...(i) CONSTRUCTION OF ANY NEW BUILDING".

OWNER(S) MASSACHUSETTS DEVELOPMENT FINANCE AGENCY 99 HIGH STREET BOSTON, MA	APPLICANT TPE SOLUTIONS 3 PATTERSON ROAD, SUITE #2 SHIRLEY, MA 01464	SURVEYOR WSP USA INC. 10 AL PAUL LANE MERRIMACK, NH 03054
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CIVIL ENGINEER HOWARD STEIN HUDSON 114 TURNPIKE ROAD, SUITE 2C CHELMSFORD, MA 01824	LANDSCAPE ARCHITECT JAMES K EMMANUEL ASSOCIATES 22 CARLTON ROAD MARBLEHEAD, MA 01945	LIGHTING CONSULTANT EXPOSURE 2 LIGHTING 6 SCOTT ROAD HAMPTON, NH 03842
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WETLAND SCIENTIST
WILLIAMS & SPARAGES
189 N MAIN STREET
MIDDLETON, MA 01949

THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DEC APPROVAL

CHAIRPERSON _____ DATE _____

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
SITE PLAN

COVER
SHEET

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

DESIGNED BY: KF

DRAWN BY: KF/MR/NC

CHECKED BY: KE

C.1

SITE NOTES:

- 1. THE INTENT OF THIS PLAN IS TO CONSTRUCT AN 31,511± SQUARE FOOT WAREHOUSE BUILDING WITH 3 LOADING DOCKS, 2 DRIVE IN BAYS, PAVED DRIVING AISLES, ASSOCIATED UTILITY CONNECTIONS, AND ACCESS TO LAKE GEORGE STREET.
- 2. TOTAL AREA OF LAND DISTURBANCE IS APPROXIMATELY 89,932 SF WITHOUT INCLUDING ANY LAND DISTURBANCE RELATED TO THE UNKNOWN CONNECTION OF GAS AT THIS TIME.
- 3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL AND STATE STANDARDS AND REGULATIONS.
- 4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT, AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES, AND BONDS.
- 5. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE LOCAL ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- 6. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MASSDOT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- 7. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO THE OUTSIDE OF FOUNDATION, UNLESS OTHERWISE NOTED.
- 8. SNOW TO BE STORED AT EDGE OF PAVEMENT, AS SHOWN ON PLANS. ALL SNOW IN EXCESS OF THESE DESIGNATIONS SHALL BE TRUCKED OFF SITE TO AN APPROVED SNOW DUMPING LOCATION. NO SNOW SHALL BE PLOWED OR STORED ALONG THE SLOPE RESOURCE AREA WITHOUT WALL PROTECTION.
- 9. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- 10. ALL SITE WALKWAYS TO BE BITUMINOUS CONCRETE UNLESS OTHERWISE SPECIFIED.
- 11. FINAL LOCATION OF EV AND VANPOOL PARKING SPACES TO BE DETERMINED PRIOR TO CONSTRUCTION. A MINIMUM OF 2 EV AND 1 VANPOOL PARKING SPACE WILL BE PROVIDED.

GRADING AND DRAINAGE NOTES:

- 1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER HOWARD STEIN HUDSON, NOR ANY OTHER EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE
- 2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- 3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- 4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- 5. PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- 6. ALL EXISTING STRUCTURES TO BE MAINTAINED SHALL HAVE RIM ADJUSTED TO NEW PROPOSED GRADE.
- 7. ALL DRAINAGE AND SANITARY STRUCTURES INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 4' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- 8. ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE DETAIL SHEETS FOR DRAINAGE DETAILS.
- 9. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE EROSION CONTROL IS NOT REQUIRED.
- 10. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- 11. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- 12. SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- 13. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- 14. ALL STORMWATER BMP'S SHALL BE INSPECTED BY DESIGN ENGINEER AFTER INSTALLATION TO CONFIRM ALL BMP'S ARE INSTALLED IN COMPLIANCE WITH PLANS.
- 15. ALL STORMWATER MANAGEMENT TO BE MAINTAINED IN ACCORDANCE WITH O&M PLAN, WHICH CAN BE FOUND AS PART OF APPENDIX A OF THE SUPPLEMENTAL DATA REPORT. ADDITIONALLY, IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PROVIDE THE OPERATIONS AND MAINTENANCE PLAN TO WHOMEVER THEY HIRE OR DEEM RESPONSIBLE PARTY FOR PERFORMING OPERATIONS AND MAINTENANCE INSPECTIONS ON SITE.
- 16. DRAINAGE PIPES CONNECTED TO CB-3 AND CB-4 SHALL REMAIN IN THE OPEN POSITION UNLESS AND EMERGENCY SPILL HAS OCCURRED.

EROSION AND SEDIMENT CONTROL NOTES

- 1. PERIMETER EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
- 2. EARTH DISTURBANCE MAY NOT BEGIN PRIOR TO RECEIVING COVERAGE OF A CONSTRUCTION GENERAL PERMIT THROUGH EPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).
- 3. A STORMWATER POLLUTION PREVENTION PLAN MUST BE PREPARED SPECIFIC FOR THIS PROJECT PRIOR TO EARTH DISTURBANCE.
- 4. ALL CATCH BASINS RECEIVING DRAINAGE FROM THE PROJECT SITE MUST BE PROVIDED WITH A CATCH BASIN FILTER.
- 5. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- 6. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER CITY AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
- 9. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZED SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
- 10. ALL PROPOSED SLOPES OF 3:1 OR STEEPER SHALL BE SEEDED AND COVERED WITH EXCELSIOR MATTING, OR AN APPROVED EQUIVALENT EROSION CONTROL BLANKET.
- 11. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
- 12. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL STRAW WATTLE, FILTER BAGS, SILT FENCE AND STRAW BALES FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE CITY TO MITIGATE ANY EMERGENCY CONDITION.
- 13. THE EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
- 14. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
- 15. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- 16. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- 17. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION. IF THE INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- 18. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY THROUGH ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- 19. CONSTRUCTION FENCING TO BE INSTALLED IN A MANNER THAT DOES NOT AFFECT THE EXISTING REES BEYOND THE PROPOSED TREE LINE.

UTILITY NOTES:

- 1. WATER AND SEWER INSTALLATION SHALL MAINTAIN 10" HORIZONTAL SEPARATION BETWEEN CLOSEST EDGES OF PIPE. WHERE CROSSING, WATER MUST REMAIN ABOVE THE SEWER AND 18" OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN THE TOP OF THE SEWER PIPE AND THE BOTTOM OF THE WATER PIPE.
- 2. BASED ON TITLE 5, THE PROJECT PROPOSES TO UTILIZE 440 GPD OF WATER AND SEWER SERVICES.
- 3. PER DEVEN'S UTILITIES DIVISION, WATER CONNECTION SHALL NOT BE MADE ON LIVE WATER MAIN. WATER MAIN TO BE SHUT OFF PRIOR TO WATER TAP. CONTRACTOR MUST WORK WITH NEIGHBORING BUILDINGS SERVICED BY THE WATER MAIN TO SCHEDULE CONNECTION TO ENSURE NO DISRUPTION TO BUSINESS ACTIVITIES.

NOTES CORRESPONDING TO 974 CMR 3.02(e) SITE PLAN REQUIREMENTS:

- 1.A DELINEATED WETLANDS ON AND ADJACENT TO THE SUBJECT LOT, AND ASSOCIATED BUFFERS, ARE SHOWN ON THIS PLAN. THERE ARE NO WATERCOURSES, WATER BODIES, UPLAND REVIEW AREAS, NOR RIPARIAN ZONES ON OR ADJACENT TO THE SUBJECT LOT.
- 1.B EXISTING AND PROPOSED TREE LINE WITHIN THE SUBJECT SITE IS SHOWN.
- 1.C SUBJECT SITE IS NOT LOCATED WITHIN ANY PRIORITY HABITAT AREAS.
- 2. SOIL INFORMATION IS AVAILABLE ON THE SOIL MAP. THE VOLUME OF THE MATERIAL TO BE IMPORTED WILL BE LIMITED TO THAT NEEDED FOR FINISH GRADING AND WILL CONSIST OF CLEAN STONE, GRAVEL, AND FILL.
- 3. DRAINAGE PATTERN INFORMATION IS AVAILABLE ON THE PRE-DEVELOPMENT WATERSHED MAP. PROPOSED LAND DISTURBANCE WITHIN EACH WATERSHED IS NOTED ON THIS PLAN.
- 4. A DESCRIPTION OF CONSTRUCTION AND WASTE MATERIALS EXPECTED TO BE STORED ON SITE IS NOTED IN THE SUPPLEMENTAL DATA REPORT.
- 5. GENERAL CONSTRUCTION SEQUENCE IS NOTED ON THIS PLAN. OPERATIONS AND MAINTENANCE PLAN CAN BE FOUND WITHIN APPENDIX A OF THE SUPPLEMENTAL DATA REPORT.
- 5.A PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON SITE, THE CONTRACTOR WILL PHYSICALLY MARK THE LIMITS OF CONSTRUCTION ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS UNDERSTAND THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS WILL BE INSPECTED DAILY AND REPAIRED AS NECESSARY THROUGHOUT THE DURATION OF THE PROJECT.
- 5.B THE PERIMETER SEDIMENT CONTROL STRAW WATTLE AND SILT FENCE WILL BE INSTALLED PRIOR TO SOIL DISTURBANCE AND MAINTAINED TO CONTAIN SOILS ON-SITE. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM WILL NOT BE DISTURBED WITHOUT PRIOR APPROVAL FROM THE DEC.
- 5.C EROSION WITHIN THE PROJECT AREA WILL BE CONTROLLED. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA AND STREET SWEEPING OF ADJACENT STREETS AND ROADS SHALL BE PERFORMED WHEN NECESSARY.
- 5.D ALL NEARBY RESOURCE AREAS SHALL BE PROTECTED FROM SEDIMENT TO THE GREATEST EXTENT PRACTICABLE.
- 5.E THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE MONITORED AND MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION. SEDIMENT WILL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL.
- 5.F RUNOFF FROM OFFSITE AND UNDISTURBED AREAS WILL BE DIVERTED AWAY FROM CONSTRUCTION TO MINIMIZE SOIL EROSION AND SEDIMENTATION ON AND OFF-SITE. ALL HIGHLY ERODIBLE SOILS AND SLOPES SHALL BE TEMPORARILY STABILIZED IMMEDIATELY.
- 5.G A CONSTRUCTION PHASING PLAN WILL BE SUBMITTED TO THE DEC PRIOR TO ANY CONSTRUCTION ON THE SITE.
- 5.H SOIL STOCKPILES WILL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES WILL NOT BE GREATER THAN 2:1. ALL STOCKPILES WILL BE SURROUNDED BY SEDIMENT CONTROLS.
- 5.I DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS WILL BE TEMPORARILY OR PERMANENTLY STABILIZED.
- 5.J PERMANENT SEEDING WILL BE UNDERTAKEN IN THE LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH AND/OR NON-ASPHALTIC SOIL TACKIFIER WITH WINTER RYE WILL BE APPLIED.
- 5.K AN ANTI-TRACKING PAD WILL BE CONSTRUCTED AT THE ENTRANCE/EXIT OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE. DUST WILL ALSO BE CONTROLLED ON SITE.
- 5.L ALL SLOPES STEEPER THAN 3:1 WILL, UPON COMPLETION, BE IMMEDIATELY STABILIZED.
- 5.M TEMPORARY SEDIMENT TRAPPING DEVICES WILL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONSTRUCTION AREAS ASSOCIATED WITH THE PROJECT.
- 5.N ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES WILL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- 8. THE PROJECT WILL OBTAIN A CONSTRUCTION GENERAL PERMIT FROM THE US EPA AND FILE IT WITH THE DEC PRIOR TO ISSUANCE OF A BUILDING PERMIT

STOCKPILING / STAGING NOTE:

- 1. PER 974 CMR 3.04(8)(F)(6), NO CONSTRUCTION ACTIVITIES/STOCKPILING OR STORAGE OF MATERIALS SHALL OCCUR WITHIN AREAS TO BE LEFT IN THEIR NATURAL STATE OR PROPOSED TO BE LANDSCAPED.

STOCKPILING / STAGING NOTE:

- 1. INSTALL EROSION AND SEDIMENT CONTROLS PRIOR TO STARTING ANY EARTHWORKS AND/OR TREE REMOVAL ACTIVITY. NO WORK MAY COMMENCE UNTIL THE DEVENS ENTERPRISE COMMISSION HAS REVIEWED AND APPROVED THE LOCATION OF SILT FENCE AS INDICATED ON THIS PLAN.
- 2. INSTALL CONSTRUCTION ENTRANCE.
- 3. BEGIN CLEARING AND GRUBBING.
- 4. CONSTRUCT STORMWATER MANAGEMENT SYSTEM.
- 5. INSTALL SITE FURNISHINGS.
- 6. INSTALL PAVEMENT AND CURBS.
- 7. INSTALL LANDSCAPING .
- 8. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL PERMANENT COVER IS ESTABLISHED.



PREPARED FOR:

JONAS ANGUS
TPE SOLUTIONS, INC.
3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464

FOR REGISTRY USE ONLY

PROPOSED WAREHOUSE
33 LAKE GEORGE STREET
DEVENS, MA, 01434
WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
SITE PLAN

SITE PLAN
NOTES

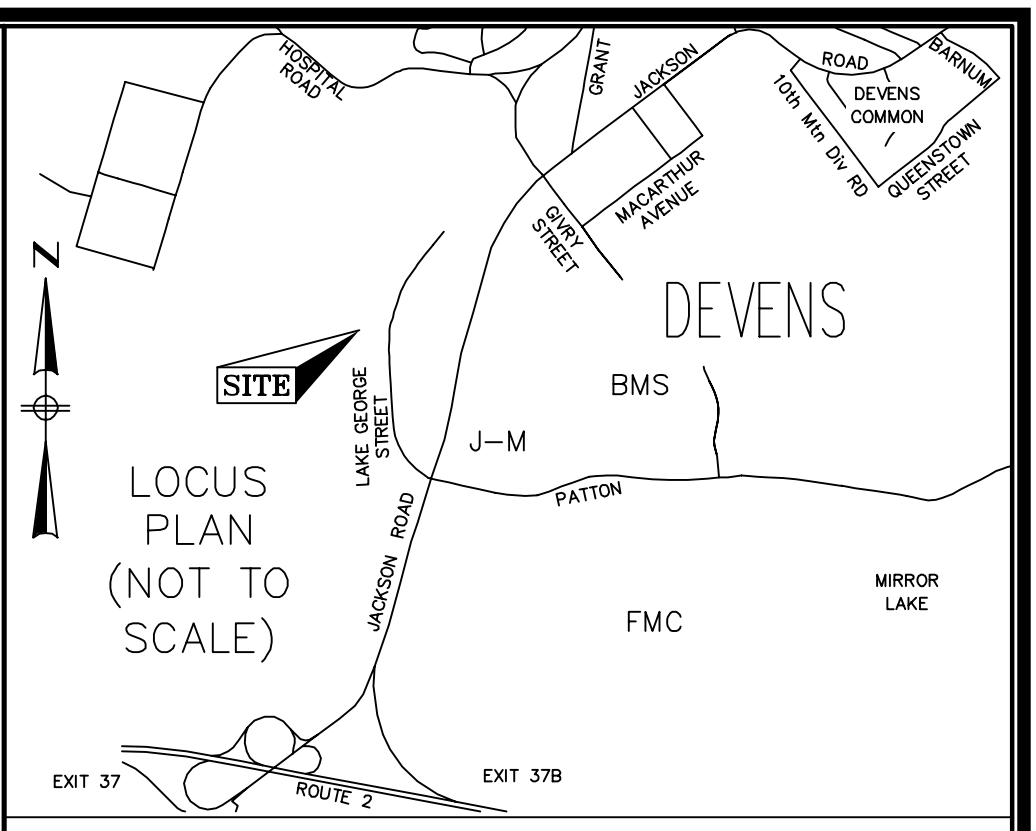
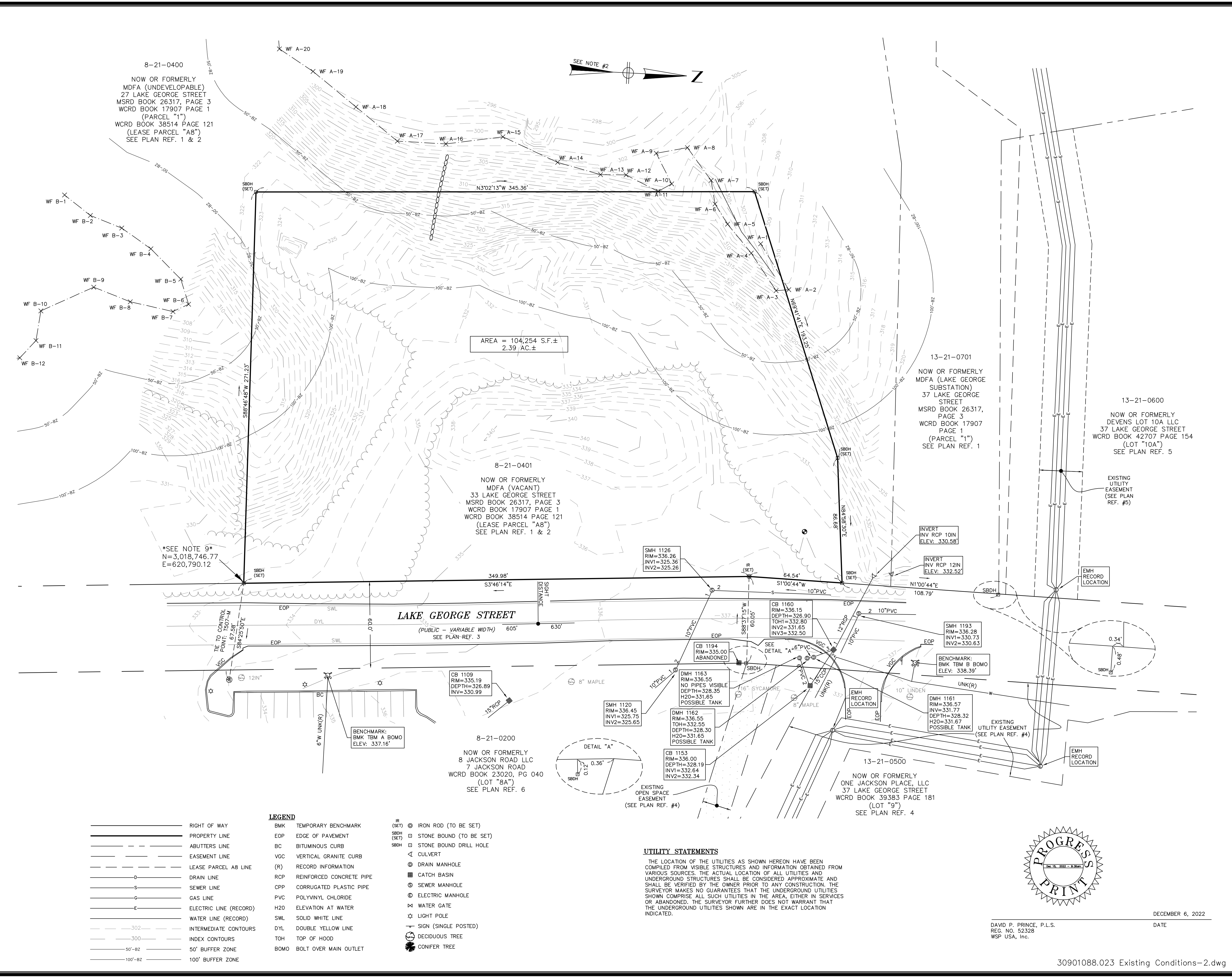
DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

C.2

DEC APPROVAL

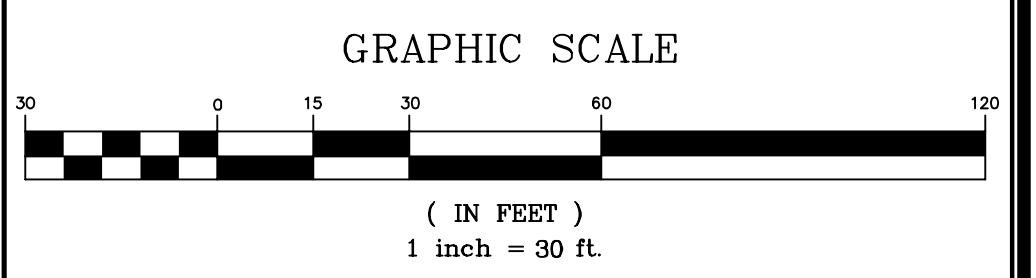
CHAIRPERSON _____ DATE _____

4/22/2024 L:\2175\CURRENT\OUTSHEETS\22175 - Site Plan.dwg
Plot Saved by: RFRREIRA
Printed by: Max Rogien



- NOTES**
1. THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY WSP USA, INC. IN NOVEMBER AND DECEMBER OF 2022.
 2. BEARINGS BASED ON 1983 MASS. STATE PLANE COORDINATE SYSTEM & CONTROL SURVEY BY CHAS. H. SELLS, INC. APRIL 2002, LAST REVISED BY WSP IN OCTOBER 2020.
 3. THE VERTICAL DATUM SHOWN HEREON REFERENCES NGVD29.
 4. ZONING: INNOVATION AND TECHNOLOGY BUSINESS ZONING DISTRICT. LOT IS LOCATED WITHIN THE WESHED OVERLAY DISTRICT.
 5. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON LABELED WITH AN (R) ARE FROM RECORD DOCUMENTS. ADDITIONAL FIELD INVESTIGATION WILL BE REQUIRED BY OTHERS TO DETERMINE THE ACTUAL PIPE SIZE(S) AND TYPE(S).
 6. WATER RESOURCE PROTECTION DISTRICT: WATERSHED
 7. THE PROPERTY IS NOT SUBJECT TO ANY INSTITUTIONAL CONTROLS.
 8. THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR THE TOWN OF HARVARD, MA MIDDLESEX COUNTY, COMMUNITY PANEL #W25027C0292E DATED JULY 4, 2011.
 9. ALL COORDINATES SHOWN HEREON ARE IN RELATIONSHIP TO THE DEVENS, MA CONTROL NETWORK AND GEOGRAPHIC INFORMATION SYSTEMS (GIS). REFERENCE IS MADE TO THE CONTROL SURVEY AND REPORT ENTITLED, "SURVEY CONTROL REPORT FOR DEVENS, MASSACHUSETTS" PREPARED FOR MASSACHUSETTS DEVELOPMENT FINANCE AGENCY, BY CHAS. H. SELLS, INC. DATED APRIL 8, 2002 AND LAST REVISED OCTOBER 23, 2020. ALL COORDINATES ARE ON THE MASSACHUSETTS MAINLAND STATE PLANE SYSTEM (NAD 1983) HORIZONTALLY AND NGVD29 VERTICALLY.
 10. THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED BY OXBOW ASSOCIATES, INC. IN JUNE OF 2018.

- PLAN REFERENCES**
1. PLAN OF LAND CONVEYED TO THE GOVERNMENT LAND BANK BY THE SECRETARY OF THE ARMY, AVER, HARVARD & SHIRLEY, MA, DATED MAY 10, 1996. PREPARED BY HOWE SURVEYING, ASSOC.
 - a.) RECORDED IN M.S.D.R.D. PLAN # 411 OF 1996
 - b.) RECORDED IN W.C.R.D. PL. BK. 703 PL. 112
 2. DEED FROM THE UNITED STATES OF AMERICA, ACTING BY AND THROUGH THE DEPARTMENT OF THE ARMY TO MASSDEVELOPMENT FOR LEASE PARCEL AB DATED MARCH 7, 2006 AND WAS RECORDED WITH THE W.C.R.D. AS BOOK 38514, PAGE 121.
 3. GENERAL PUBLIC WAY DECLARATION PLAN DATED MAY 29, 1996. PREPARED BY HOWE SURVEYING, ASSOC. AND RECORDED AT THE MASSDEVELOPMENT ENGINEERING OFFICE LOCATED AT 33 ANDREWS PARKWAY DEVENS, MA. RECORDED IN W.C.R.D. PLAN BOOK 822, PAGE 22.
 4. PLAN ENTITLED "HARVARD (DEVENS), MASSACHUSETTS LEVEL 1 SUBDIVISION LOT #9 JACKSON ROAD", PREPARED BY CHAS. H. SELLS, INC. DATED DECEMBER 20, 2005. RECORDED IN W.C.R.D. PLAN BOOK 845, PAGE 37.
 5. PLAN ENTITLED "HARVARD (DEVENS), MASSACHUSETTS LEVEL 1 SUBDIVISION LOT 10A LAKE GEORGE STREET", PREPARED BY CHAS. H. SELLS, INC. DATED MARCH 31, 2008. RECORDED IN W.C.R.D. PLAN BOOK 866, PAGE 125.

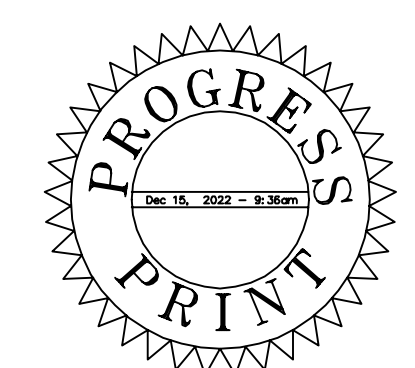


REVISION	
DATE	DESCRIPTION
---	---

EXISTING CONDITIONS SURVEY
 33 LAKE GEORGE STREET
 DEVENS, MASSACHUSETTS
 PREPARED FOR
 HOWARD STEIN HUDSON



Drawn By ES	Date DECEMBER 6, 2022	Job No. 30901088.023
Surveyed By ES RZ MA		
Checked By DP	Scale 1" = 30'	Sheet No. 1 OF 1
Book No. N-155K PG 128		



DAVID P. PRINCE, P.L.S.
 REG. NO. 52328
 WSP USA, Inc.
 DATE DECEMBER 6, 2022

8-21-0400
 NOW OR FORMERLY
 MDFA (UNDEVELOPABLE)
 27 LAKE GEORGE STREET
 MSRD BOOK 26317, PAGE 3
 WCRD BOOK 17907 PAGE 1
 (PARCEL "1")
 WCRD BOOK 38514 PAGE 121
 (LEASE PARCEL "A8")
 SEE PLAN REF. 1 & 2

AREA = 104,254 S.F.±
 2.39 AC.±

8-21-0401
 NOW OR FORMERLY
 MDFA (VACANT)
 33 LAKE GEORGE STREET
 MSRD BOOK 26317, PAGE 3
 WCRD BOOK 17907 PAGE 1
 WCRD BOOK 38514 PAGE 121
 (LEASE PARCEL "A8")
 SEE PLAN REF. 1 & 2

8-21-0200
 NOW OR FORMERLY
 8 JACKSON ROAD LLC
 7 JACKSON ROAD
 WCRD BOOK 23020, PG 040
 (LOT "8A")
 SEE PLAN REF. 6

13-21-0701
 NOW OR FORMERLY
 MDFA (LAKE GEORGE
 SUBSTATION)
 37 LAKE GEORGE
 STREET
 MSRD BOOK 26317,
 PAGE 3
 WCRD BOOK 17907
 PAGE 1
 (PARCEL "1")
 SEE PLAN REF. 1

13-21-0600
 NOW OR FORMERLY
 DEVENS LOT 10A LLC
 37 LAKE GEORGE STREET
 WCRD BOOK 42707 PAGE 154
 (LOT "10A")
 SEE PLAN REF. 5

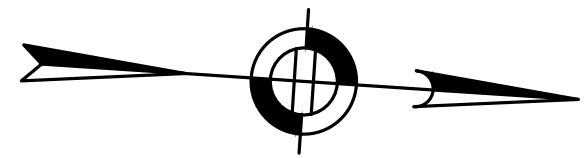
13-21-0500
 NOW OR FORMERLY
 ONE JACKSON PLACE, LLC
 37 LAKE GEORGE STREET
 WCRD BOOK 39383 PAGE 181
 (LOT "9")
 SEE PLAN REF. 4

- LEGEND**
- | | | | |
|---|------------------------|------------|-------------------------|
| — | RIGHT OF WAY | IR (SET) | IRON ROD (TO BE SET) |
| — | PROPERTY LINE | SBDH (SET) | STONE BOUND (TO BE SET) |
| — | ABUTTERS LINE | □ | STONE BOUND DRILL HOLE |
| — | EASEMENT LINE | — | CULVERT |
| — | LEASE PARCEL A8 LINE | ⊕ | DRAIN MANHOLE |
| — | DRAIN LINE | ⊕ | CATCH BASIN |
| — | SEWER LINE | ⊕ | SEWER MANHOLE |
| — | GAS LINE | ⊕ | ELECTRIC MANHOLE |
| — | ELECTRIC LINE (RECORD) | ⊕ | WATER GATE |
| — | WATER LINE (RECORD) | ⊕ | LIGHT POLE |
| — | INTERMEDIATE CONTOURS | — | SIGN (SINGLE POSTED) |
| — | INDEX CONTOURS | ⊕ | DECIDUOUS TREE |
| — | 50' BUFFER ZONE | ⊕ | CONIFER TREE |
| — | 100' BUFFER ZONE | | |

UTILITY STATEMENTS

THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICES OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

SEE NOTE 9
 N=3,018,746.77
 E=620,790.12



PREPARED FOR:
 JONAS ANGUS
 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

FOR REGISTRY USE ONLY

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

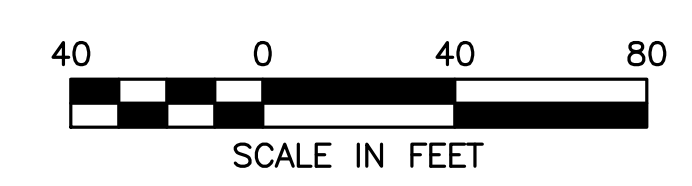
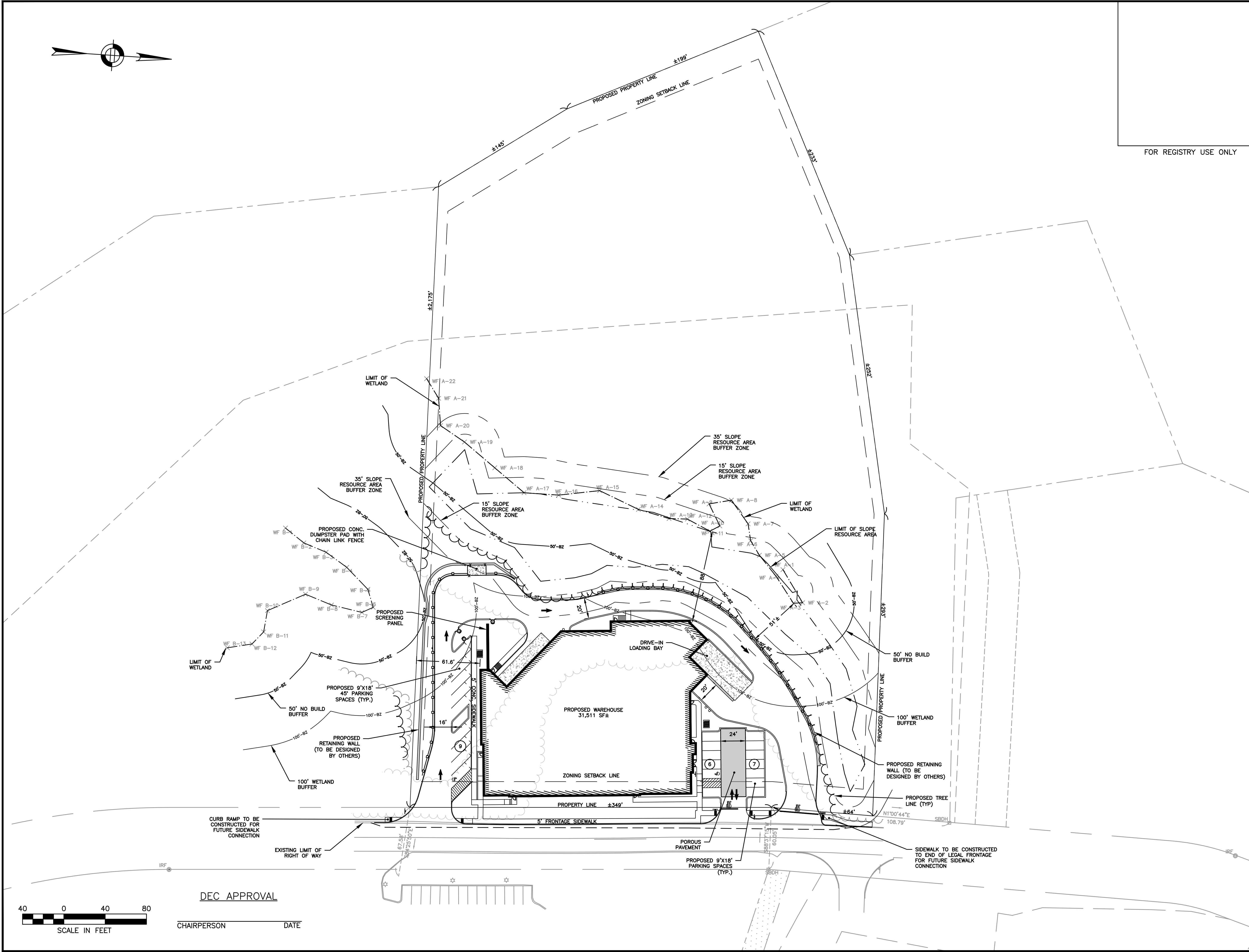
NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

LOCUS
 PLAN

DATE: MARCH 11, 2024
 PROJECT NUMBER: 22175
 DESIGNED BY: KF
 DRAWN BY: KF/MR/NC
 CHECKED BY: KE



DEC APPROVAL

CHAIRPERSON _____ DATE _____

Printed by: _____



HOWARD STEIN HUDSON
 114 Turnpike Road, Suite 2C
 Chelmsford, MA 01824
 www.hshassoc.com

PREPARED FOR:
 JONAS ANGUS
 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

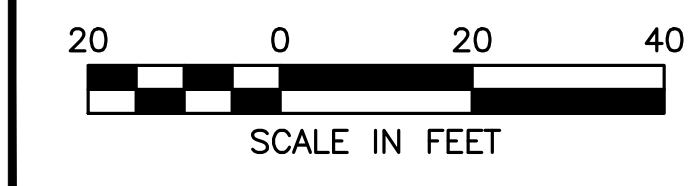
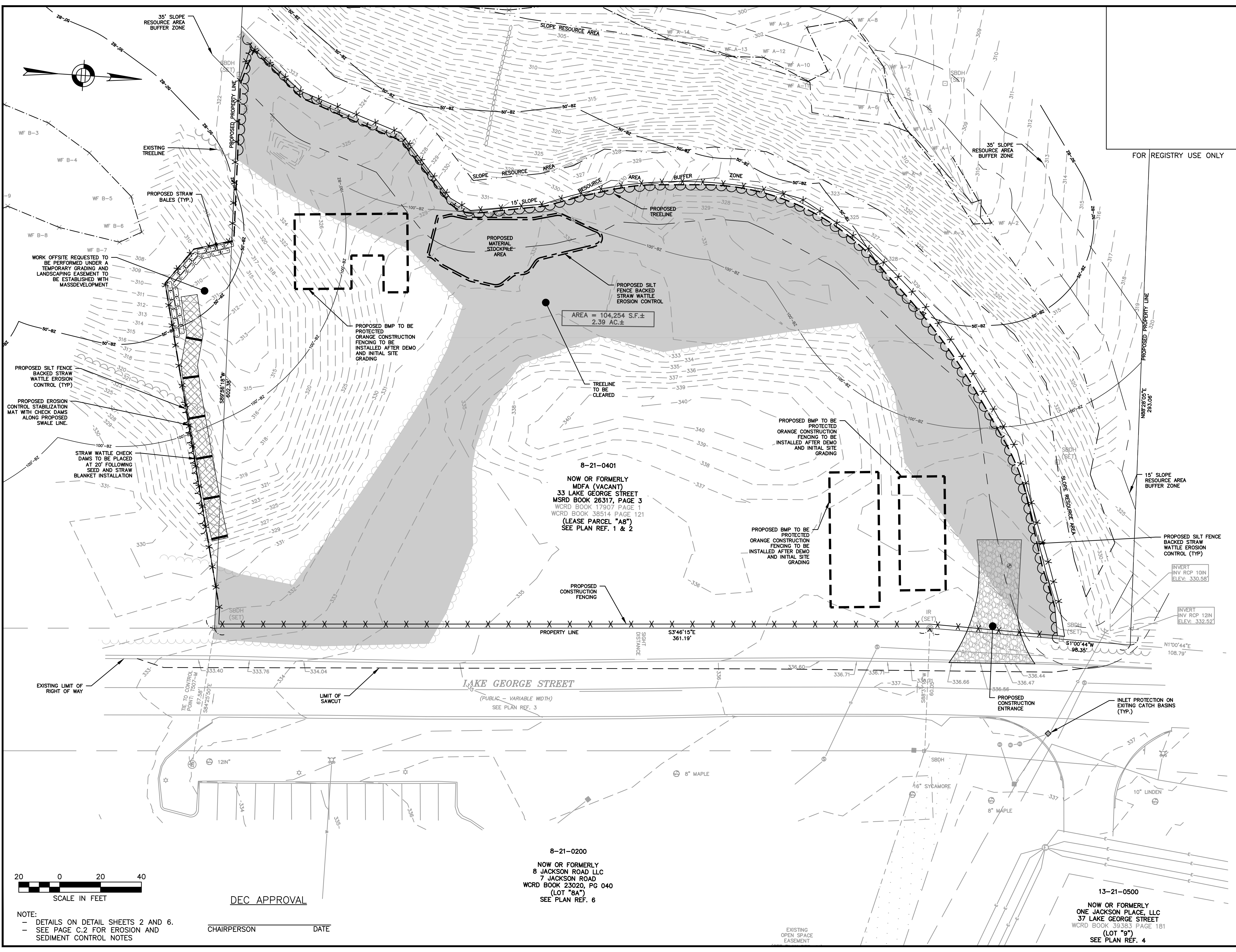
NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

**DEMOLITION
 AND EROSION
 CONTROL PLAN**

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE
C.5	



NOTE:
 - DETAILS ON DETAIL SHEETS 2 AND 6.
 - SEE PAGE C.2 FOR EROSION AND SEDIMENT CONTROL NOTES

CHAIRPERSON _____ DATE _____

8-21-0200
 NOW OR FORMERLY
 8 JACKSON ROAD LLC
 7 JACKSON ROAD
 WCRD BOOK 23020, PG 040
 (LOT "8A")
 SEE PLAN REF. 6

13-21-0500
 NOW OR FORMERLY
 ONE JACKSON PLACE, LLC
 37 LAKE GEORGE STREET
 WCRD BOOK 39383 PAGE 181
 (LOT "9")
 SEE PLAN REF. 4

4/22/2024 L:\2175\CURRENT\OUTSHEETS\22175 - Site Plan.dwg
 Plot Saved by: KFERREIRA
 Printed by: Max Rogien



HOWARD STEIN HUDSON
 114 Turnpike Road, Suite 2C
 Chelmsford, MA 01824
 www.hshassoc.com

PREPARED FOR:
 JONAS ANGUS
 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

13-21-0701
 NOW OR FORMERLY
 MDA (LAKE GEORGE
 SUBSTATION)
 37 LAKE GEORGE
 STREET
 MSRD BOOK 26317
 PAGE 3
 WRD BOOK 17907
 PAGE 1
 (PARCEL "1")
 SEE PLAN REF. 1

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



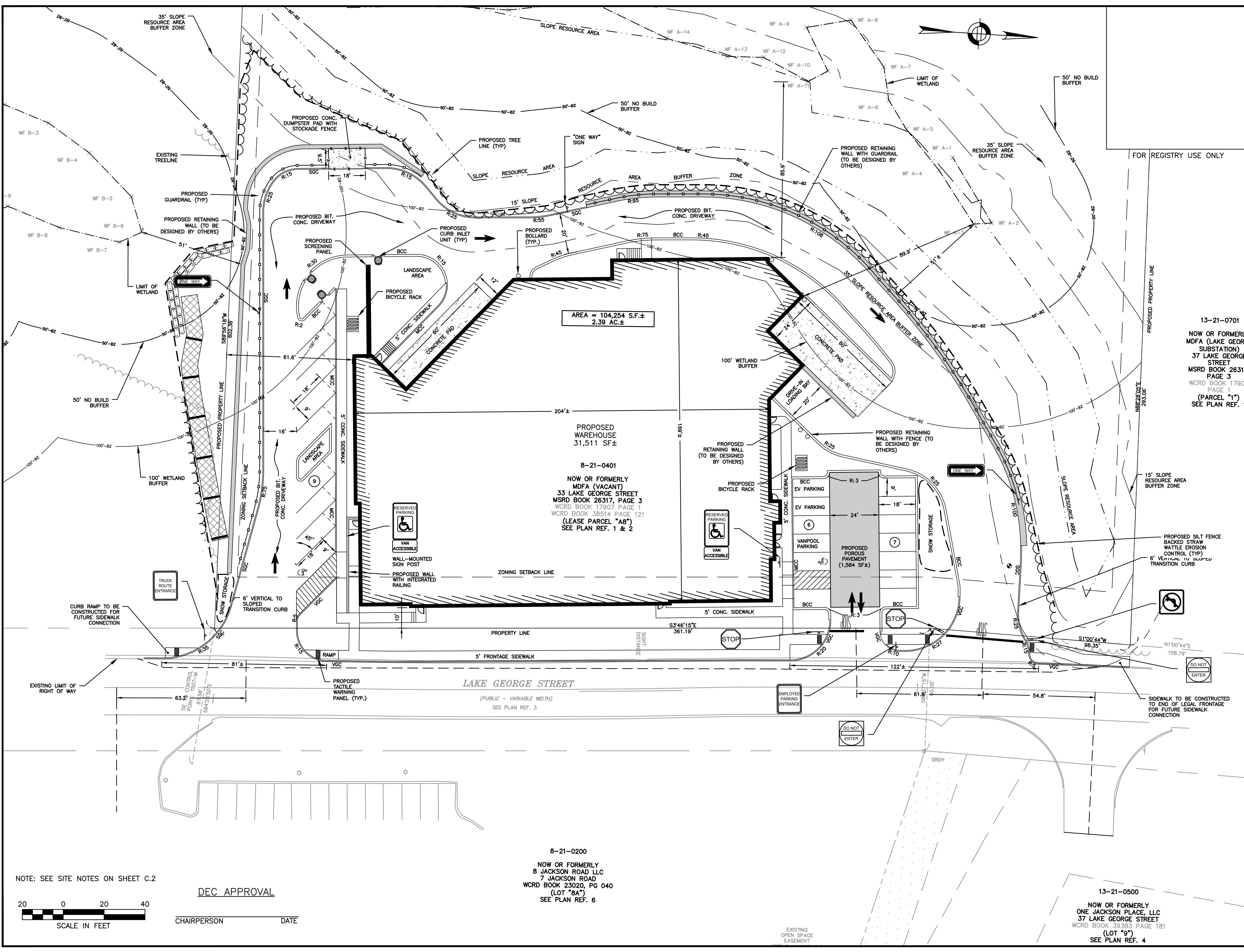
LEVEL II
 SITE PLAN

LAYOUT AND
 MATERIALS PLAN

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

C.6

SHEET 6 OF 23



NOTE: SEE SITE NOTES ON SHEET C.2



DEC APPROVAL

CHAIRPERSON DATE

8-21-0200
 NOW OR FORMERLY
 8 JACKSON ROAD LLC
 7 JACKSON ROAD
 WRD BOOK 23020, PG 040
 (LOT "8A")
 SEE PLAN REF. 6

13-21-0500
 NOW OR FORMERLY
 ONE JACKSON PLACE, LLC
 37 LAKE GEORGE STREET
 WRD BOOK 39383 PAGE 181
 (LOT "9")
 SEE PLAN REF. 4



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 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

FOR REGISTRY USE ONLY

DEEP HOLE TESTING
 JANUARY 3, 2023
 SOIL EVALUATOR: KASEY FERREIRA, E.I.T. -
 S.E.#14165

TP-1 EL. = 326.24
 0'-6" A
 6"-144" C SAND
 NO EVIDENCE OF GROUNDWATER

TP-2 EL. = 328.57
 0'-8" A
 8"-150" C SAND
 NO EVIDENCE OF GROUNDWATER

TP-3 EL. = 334.51
 0'-16" A
 16"-22" B
 22"-44" C1
 44"-168" C2
 NO EVIDENCE OF GROUNDWATER

TP-4 EL. = 335.43
 0'-16" A
 16"-24" BW LOAMY SAND
 24"-62" C1 LOAMY SAND
 62"-167" C2 SAND
 NO EVIDENCE OF GROUNDWATER

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

**GRADING AND
 DRAINAGE PLAN**

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

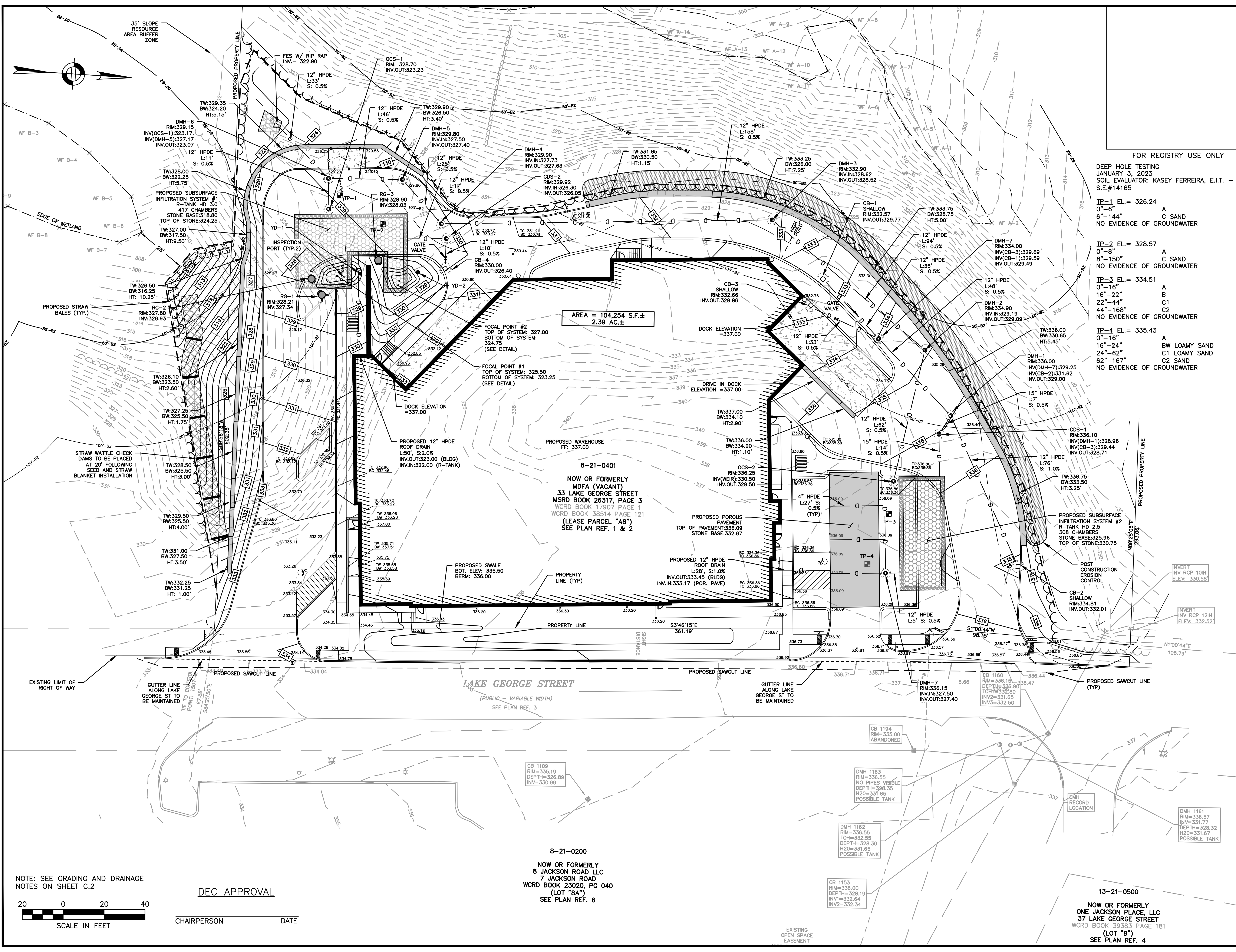
DESIGNED BY: KF

DRAWN BY: KF/MR/NC

CHECKED BY: KE

C.7

SHEET 7 OF 23



NOTE: SEE GRADING AND DRAINAGE
 NOTES ON SHEET C.2

SCALE IN FEET
 0 20 40

DEC APPROVAL

CHAIRPERSON DATE

8-21-0200
 NOW OR FORMERLY
 8 JACKSON ROAD LLC
 7 JACKSON ROAD
 WCRD BOOK 23020, PG 040
 (LOT "8A")
 SEE PLAN REF. 6

13-21-0500
 NOW OR FORMERLY
 ONE JACKSON PLACE, LLC
 37 LAKE GEORGE STREET
 WCRD BOOK 39383 PAGE 181
 (LOT "9")
 SEE PLAN REF. 4

4/22/2024 L:\2175\CURRENT\OUTSHEETS\2175 - Site Plan.dwg
 Plot Saved by: KFERREIRA
 Printed by: Max Rogien



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 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

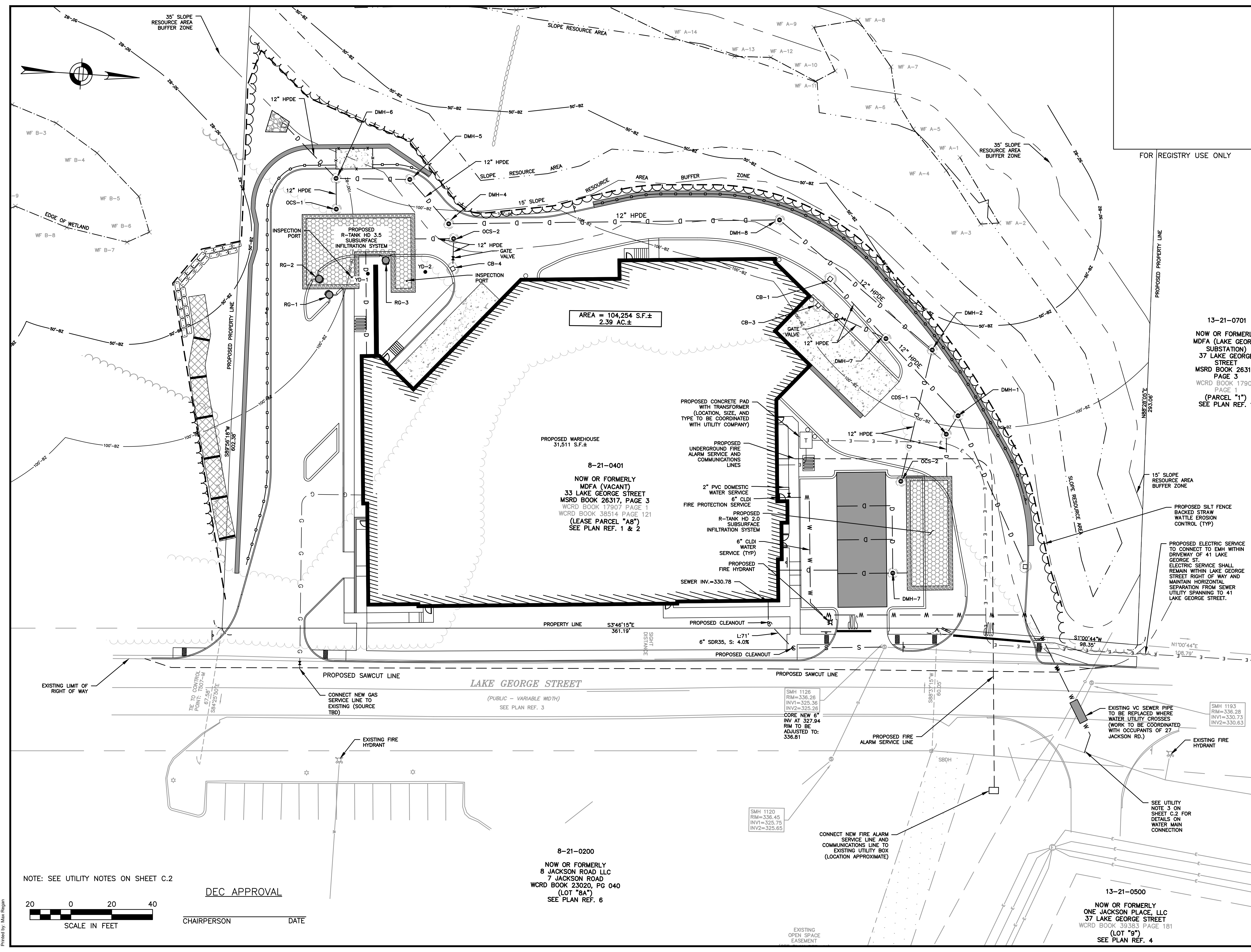
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1	MR	04/19/24	PER COMMENTS



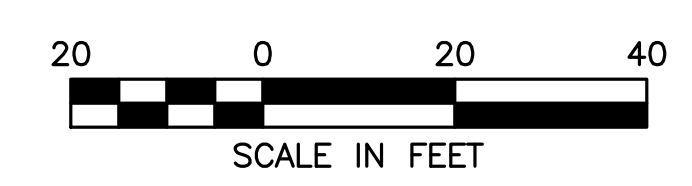
LEVEL II
 SITE PLAN

UTILITY
 PLAN

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE
C.8	



NOTE: SEE UTILITY NOTES ON SHEET C.2



DEC APPROVAL

CHAIRPERSON _____ DATE _____

4/22/2024 L:\2175\CURRENT\OUTSHEETS\22175 - Site Plan.dwg
 Plot Saved by: RFRREIRA
 Printed by: Max Rogien



HOWARD STEIN HUDSON
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 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
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 DEVENS, MA, 01434
 WORCESTER COUNTY

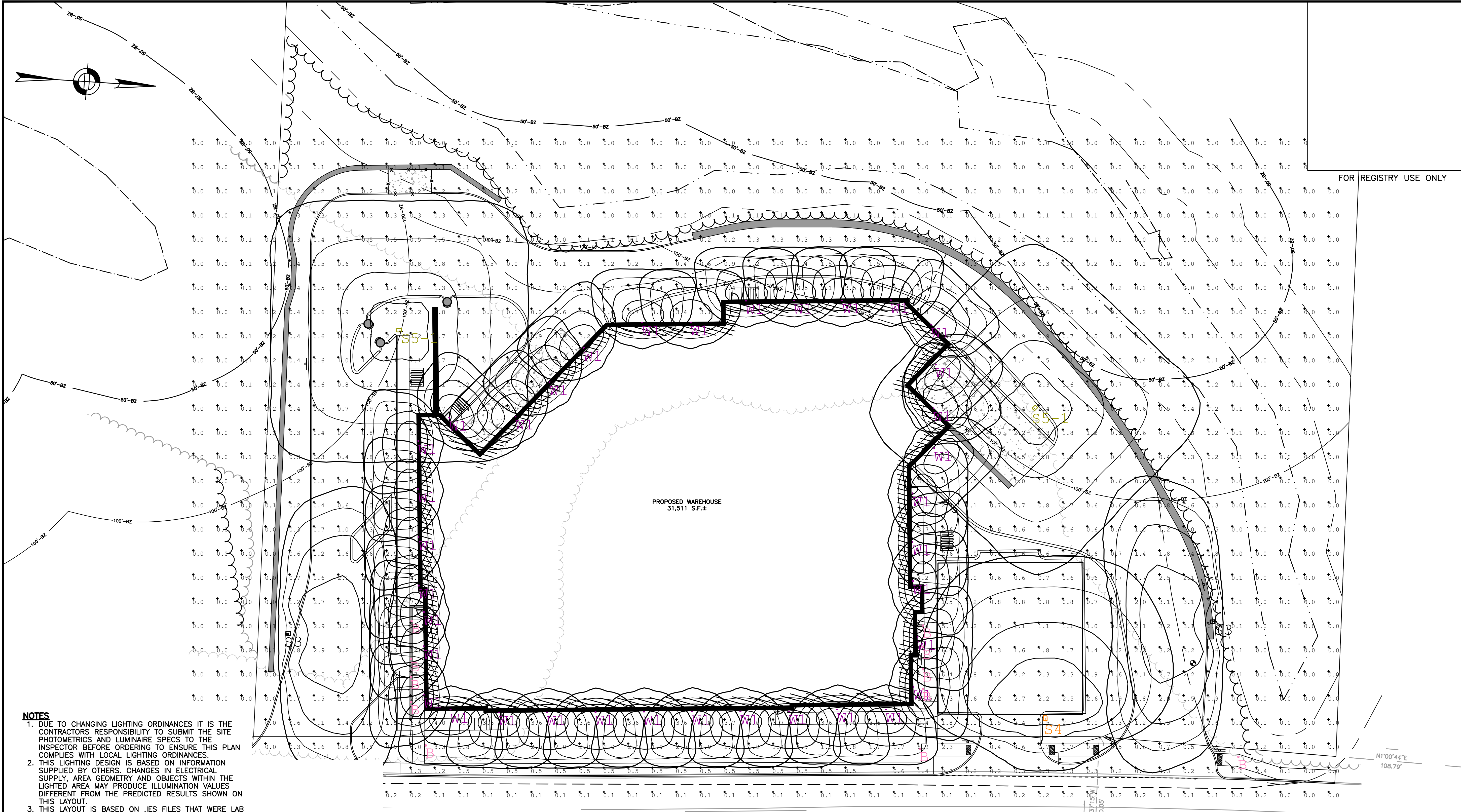
REVISIONS:			
NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



**LEVEL II
 SITE PLAN**

**LIGHTING
 PLAN**

DATE: MARCH 11, 2024
 PROJECT NUMBER: 22175
 DESIGNED BY: KF
 DRAWN BY: KF/MR/NC
 CHECKED BY: KE

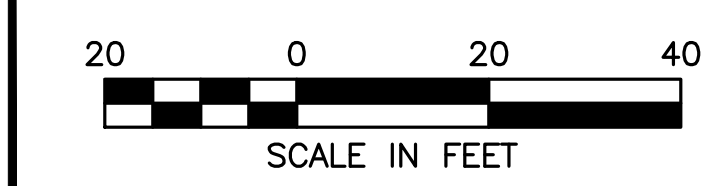


- NOTES**
1. DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
 2. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
 3. THIS LAYOUT IS BASED ON JES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.
 4. DETAILS OF ALL LIGHTING FIXTURES CAN BE FOUND ON DETAIL SHEET 9 C.19.

PARKING LOT
 LAKE GEORGE STREET

Illuminance (Fc)
 Average = 1.95
 Maximum = 6.4
 Minimum = 0.6
 Avg/Min Ratio = 3.25
 Max/Min Ratio = 10.67

Symbol	Qty	Label	Arrangement	Description	Tag	[MANUFAC]	BUG Rating	CCT	CRI	LIGHT SOURCE
	11	B	Single	MRB-LED-25L-ACR-A-UNV-DIM-30-CXX	44 INCH TALL LIGHTED BOLLARD	LSI INDUSTRIES, INC.	B1-U1-G1	3000K	70	LED
	2	S3	Single	MRM-LED-09L-S1L-3-UNV-DIM-30-70CRI-IL-CXX / 4SQ B3 S11G20 S CXX	SINGLE HEAD ON 18' POLE	LSI INDUSTRIES, INC.	B0-U0-G2	3000K	70	LED
	1	S4	Single	MRM-LED-09L-S1L-4-UNV-DIM-30-70CRI-CXX / 4SQ B3 S11G20 S CXX	SINGLE HEAD ON 18' POLE	LSI INDUSTRIES, INC.	B2-U0-G3	3000K	70	LED
	2	S5-1	Single	MRM-LED-09L-S1L-5W-UNV-DIM-30-70CRI-CXX / 4SQ B3 S11G20 S CXX	SINGLE HEAD ON 18' POLE	LSI INDUSTRIES, INC.	B3-U0-G2	3000K	70	LED
	36	W1	Single	LEW-30011-14W-T4-W30-XX-120/277V	WALL MOUNTED 12' AFG	LIGMAN	N.A.	3000K	80	LED

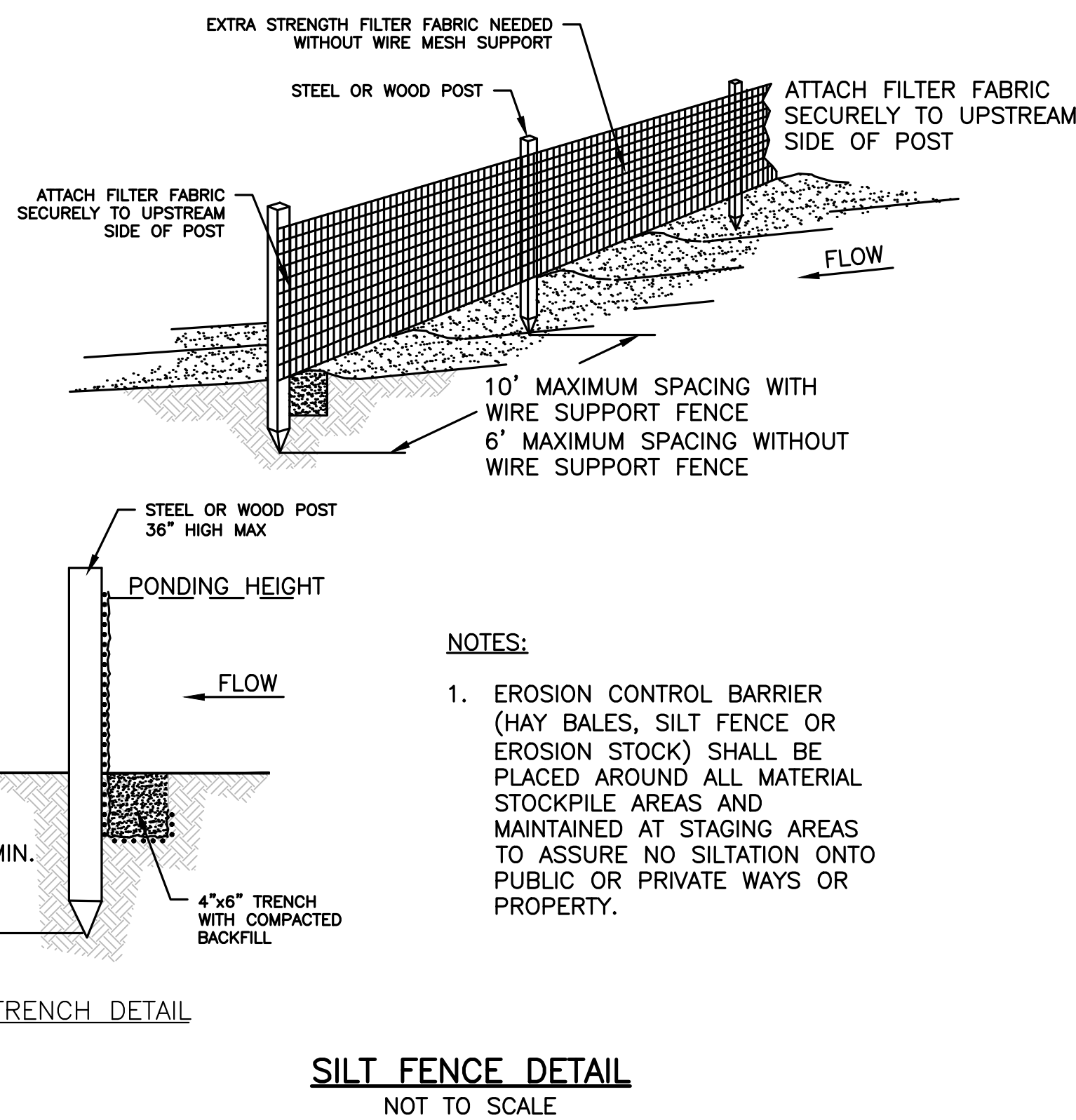
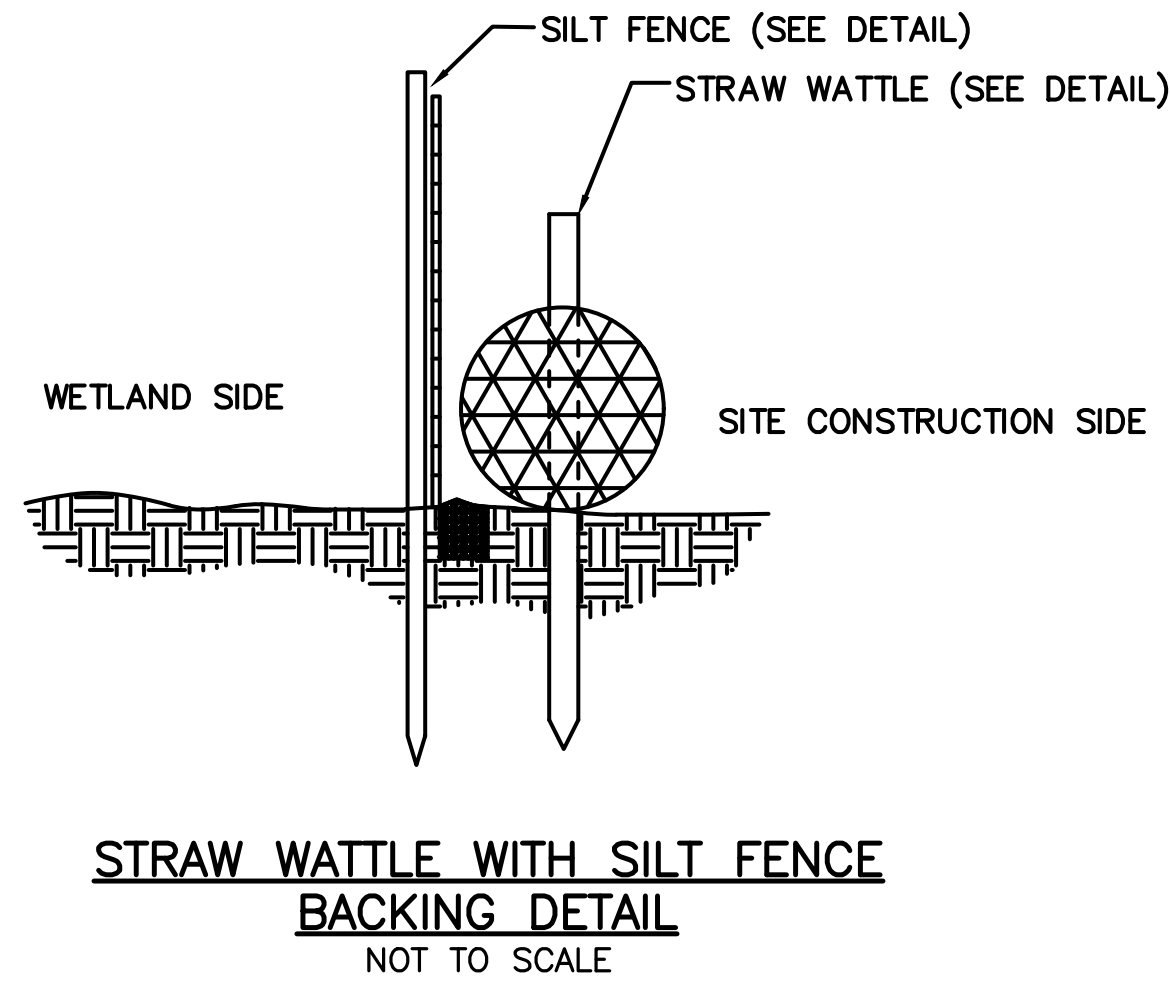


DEC APPROVAL

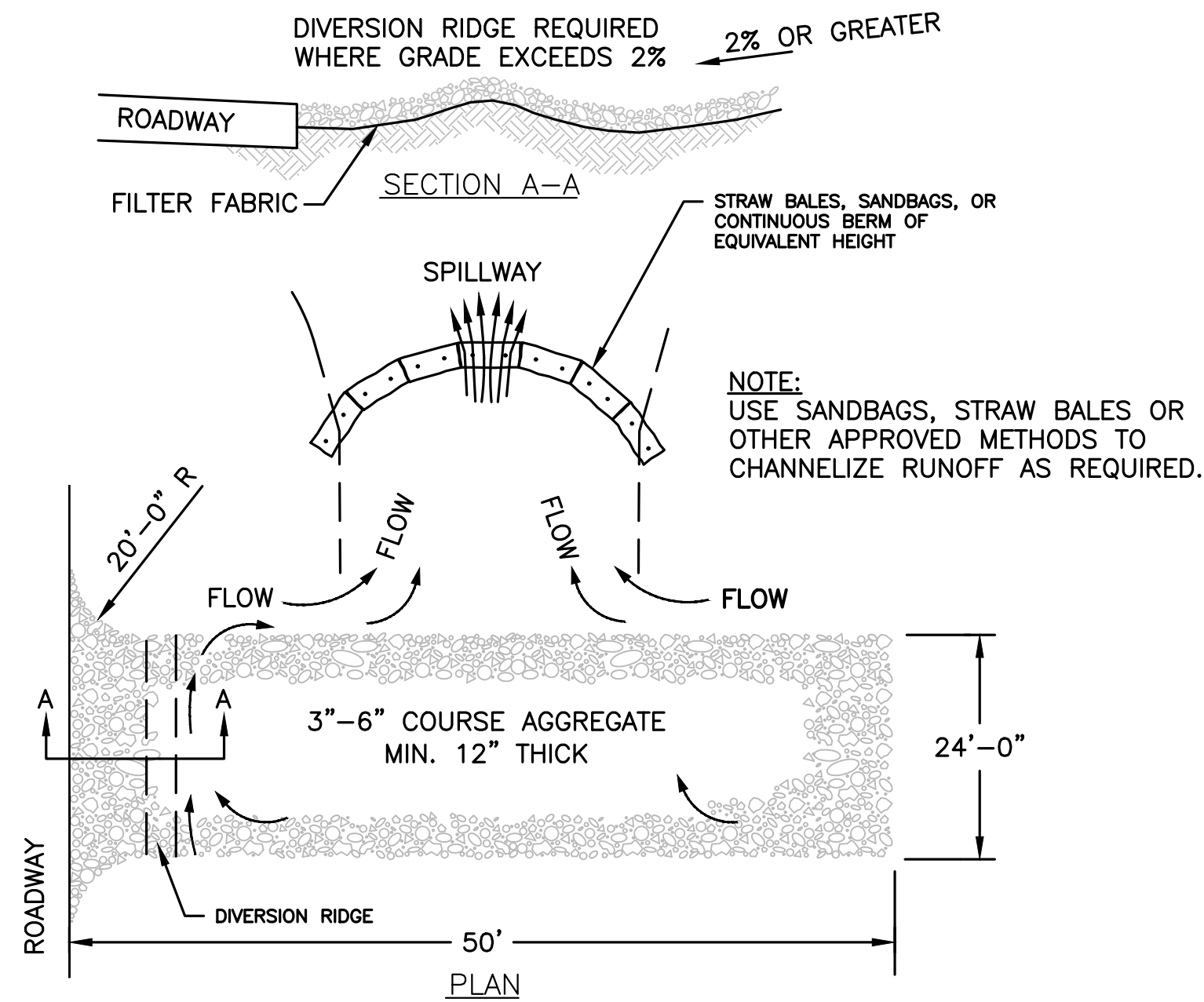
CHAIRPERSON _____ DATE _____

GENERAL CONSTRUCTION SEQUENCE

1. INSTALL EROSION AND SEDIMENT CONTROLS PRIOR TO STARTING ANY EARTHWORKS ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE.
3. DEMOLITION OF EXISTING SITE FURNISHINGS.
4. BEGIN CLEARING AND GRUBBING.
5. CONSTRUCT STORMWATER MANAGEMENT SYSTEM.
6. INSTALL SITE FURNISHINGS.
7. INSTALL PAVEMENT AND CURBS.
8. INSTALL LANDSCAPING.
9. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL PERMANENT COVER IS ESTABLISHED.

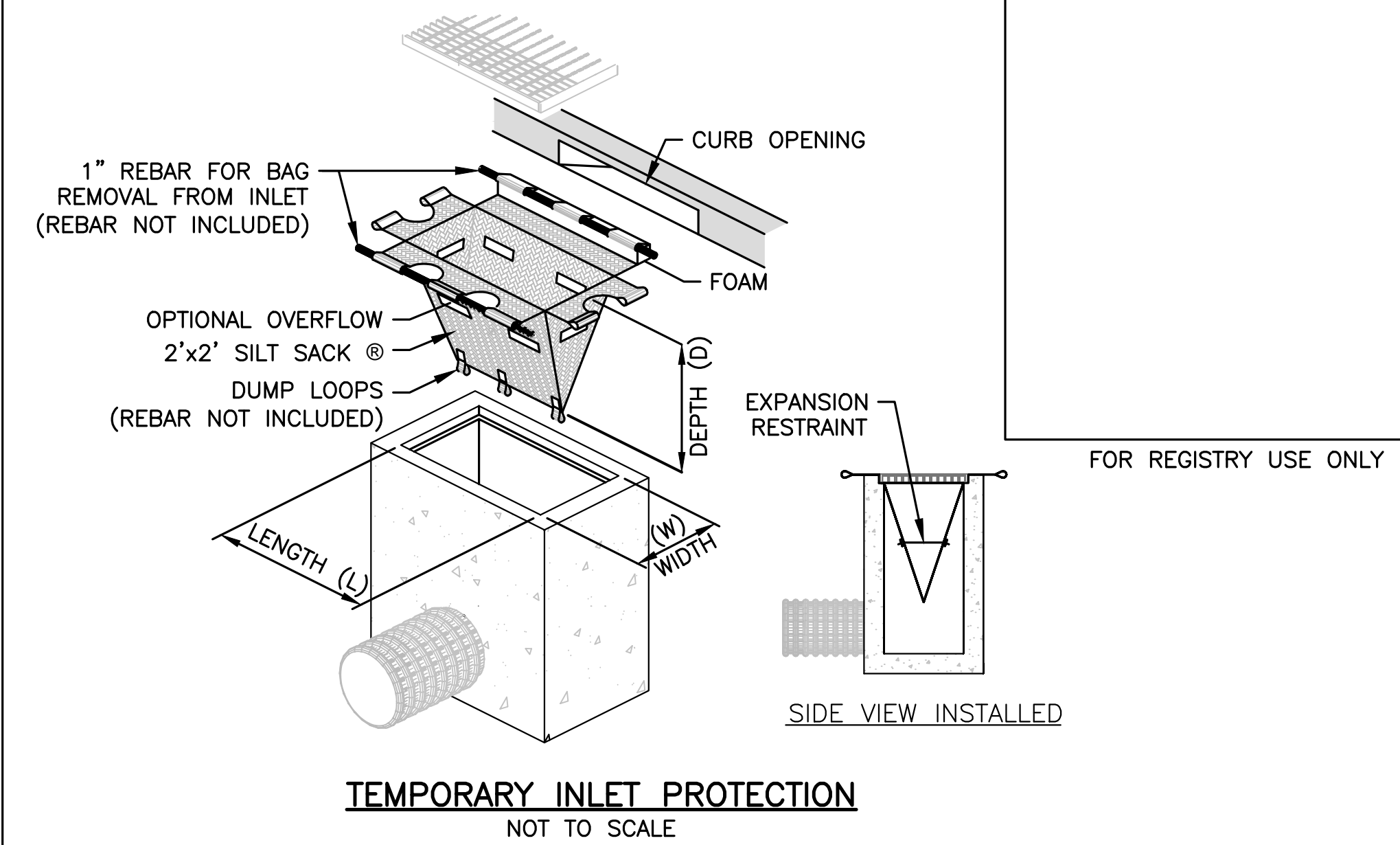


CHAIRPERSON _____ DATE _____

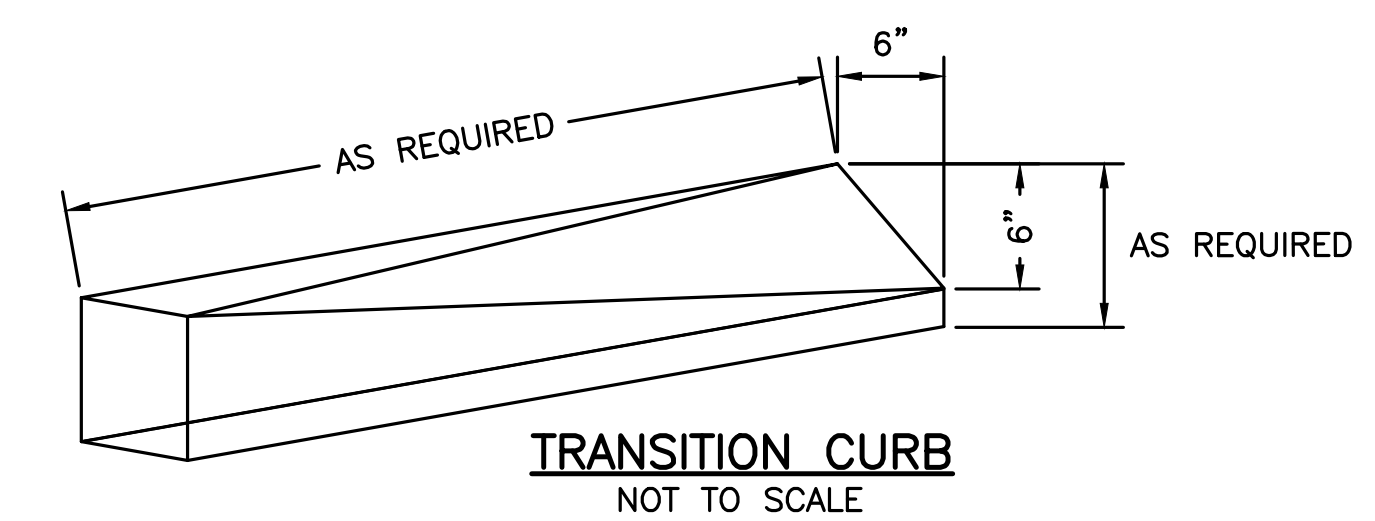


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE APPLIED WHERE NECESSARY TO KEEP PUBLIC WAYS FREE OF SEDIMENT INCLUDING STAGING AREAS

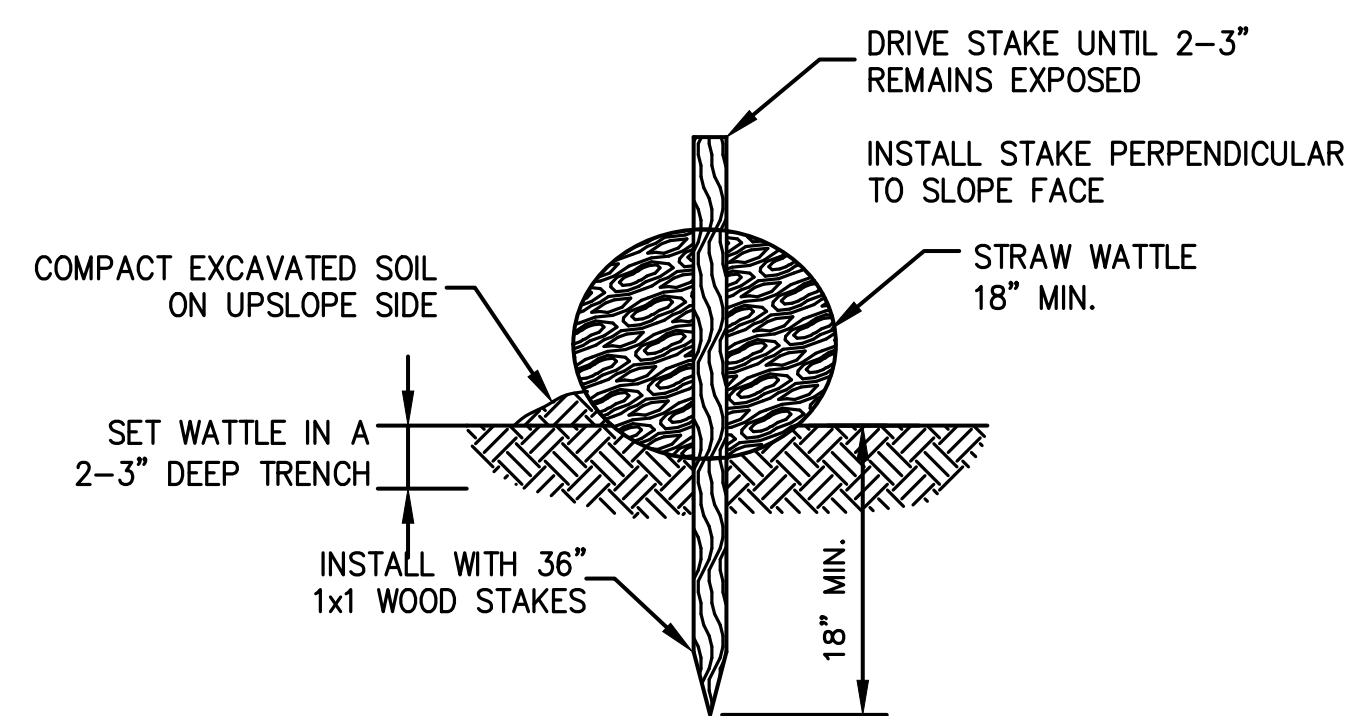
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



TEMPORARY INLET PROTECTION
NOT TO SCALE

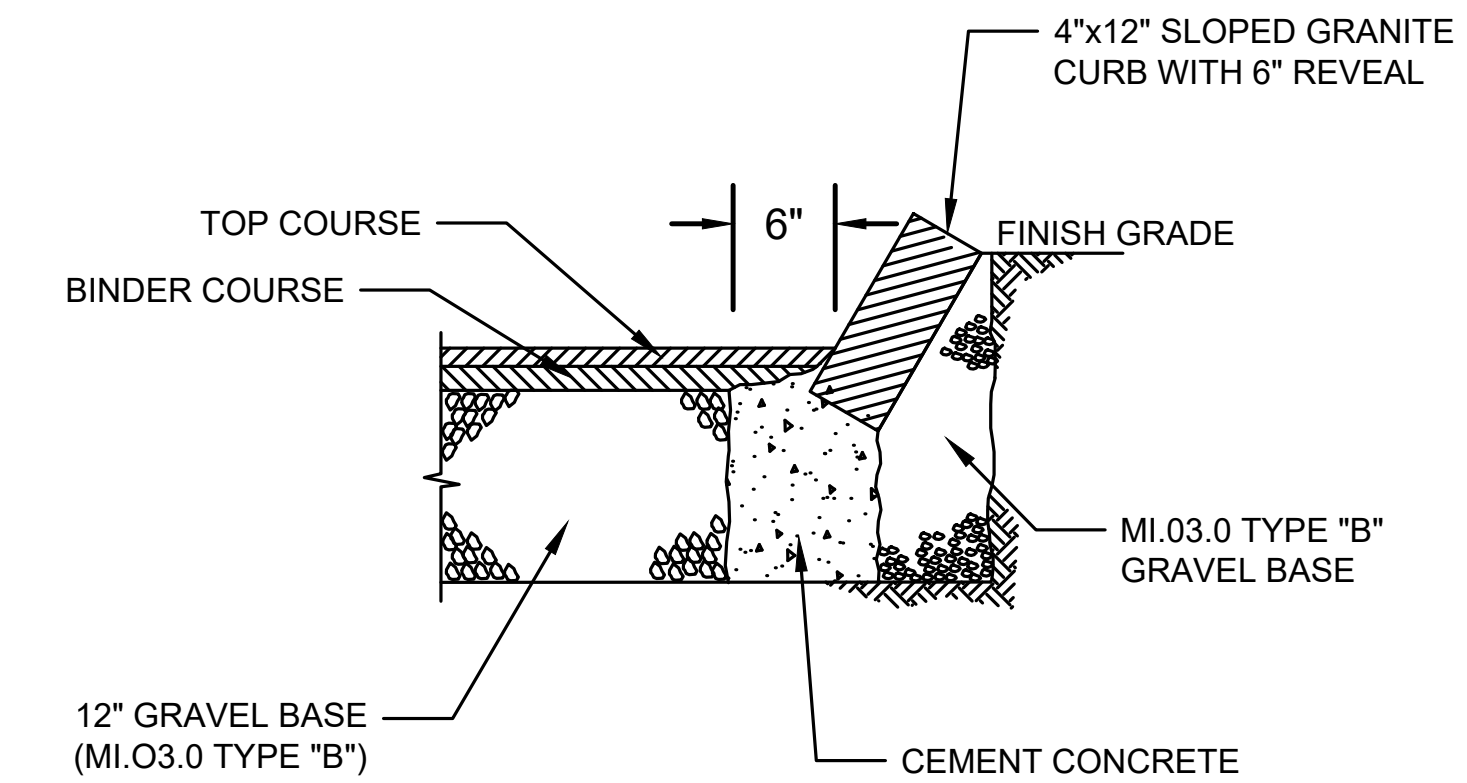


TRANSITION CURB
NOT TO SCALE

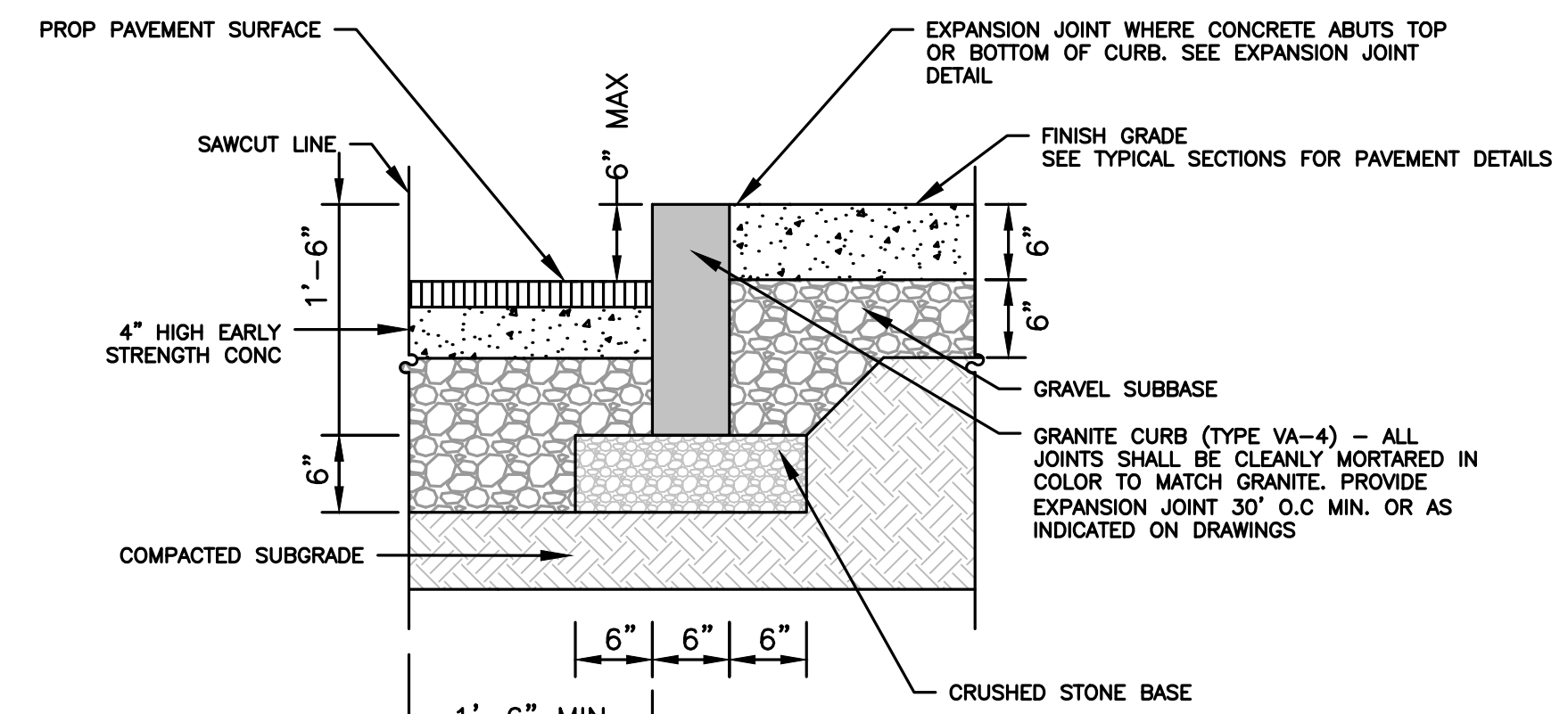


- NOTES:**
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3\"(5-7.5 CM) DEEP X 9\"(22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 3. SECURE THE WATTLE WITH 36\"(45.7-61 CM) STAKES EVERY 3-4' (0.9 - 1.2 M) AND WITH A STAKE ON EACH END. (STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3\"(5-7.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

STRAW WATTLE DETAIL
NOT TO SCALE



SLOPED GRANITE CURB
NOT TO SCALE



NOTE: USE 2" BIT. CONC. TOP COURSE ABOVE HIGH EARLY STRENGTH CONCRETE FOR RESETTING CURBS

VERTICAL GRANITE CURB
NOT TO SCALE

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
JONAS ANGUS
TPE SOLUTIONS, INC.
3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464

PROPOSED WAREHOUSE
33 LAKE GEORGE STREET
DEVENS, MA, 01434
WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS

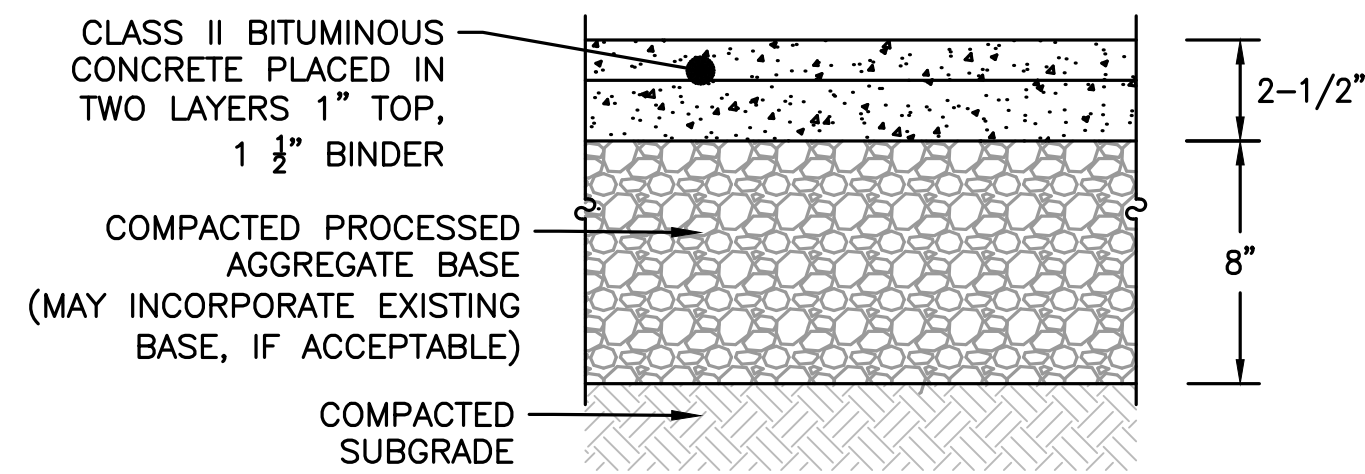


LEVEL II
SITE PLAN

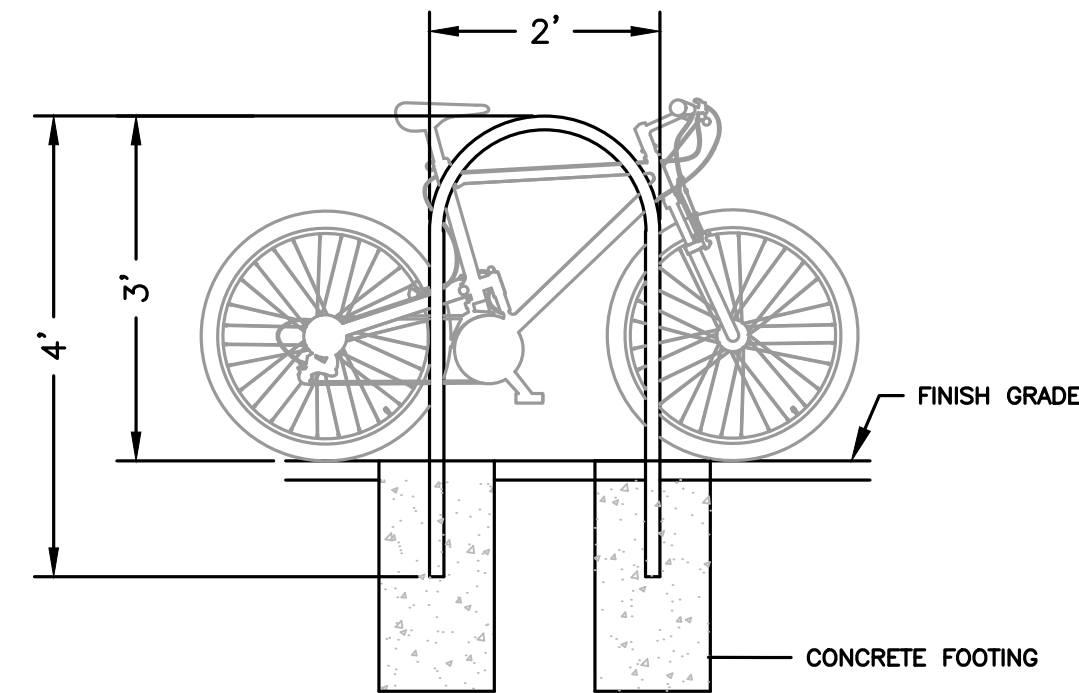
DETAIL
SHEET 1

DATE: MARCH 11, 2024
PROJECT NUMBER: 22175
DESIGNED BY: KF
DRAWN BY: KF/MR/NC
CHECKED BY: KE

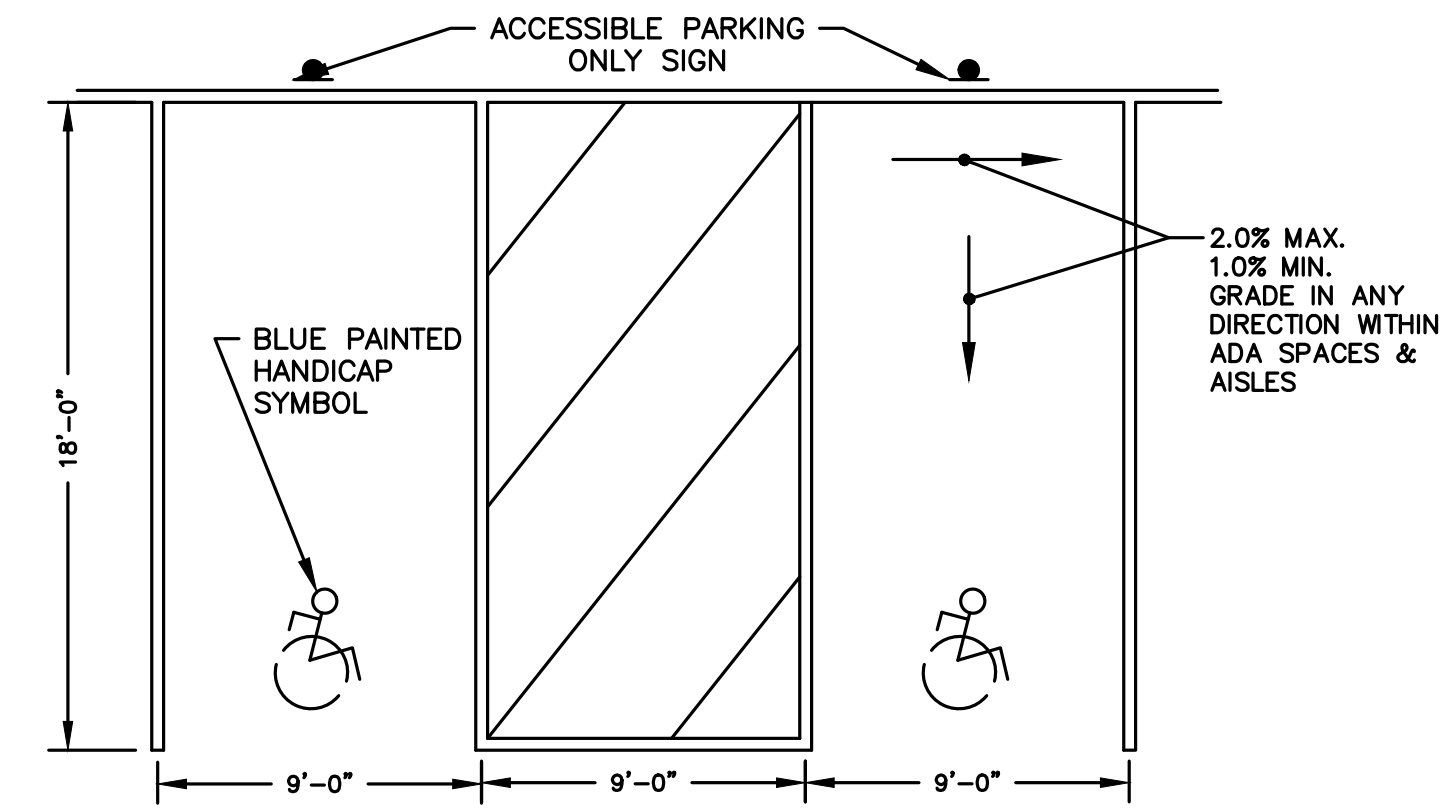
4/22/2024 L:\2175\CURRENT\OUTSHEETS\2175 - Site Plan.dwg
Plot Saved by: KFERREIRA
Printed by: Max Rogien



BIT CONC SIDEWALK SECTION DETAIL
NOT TO SCALE

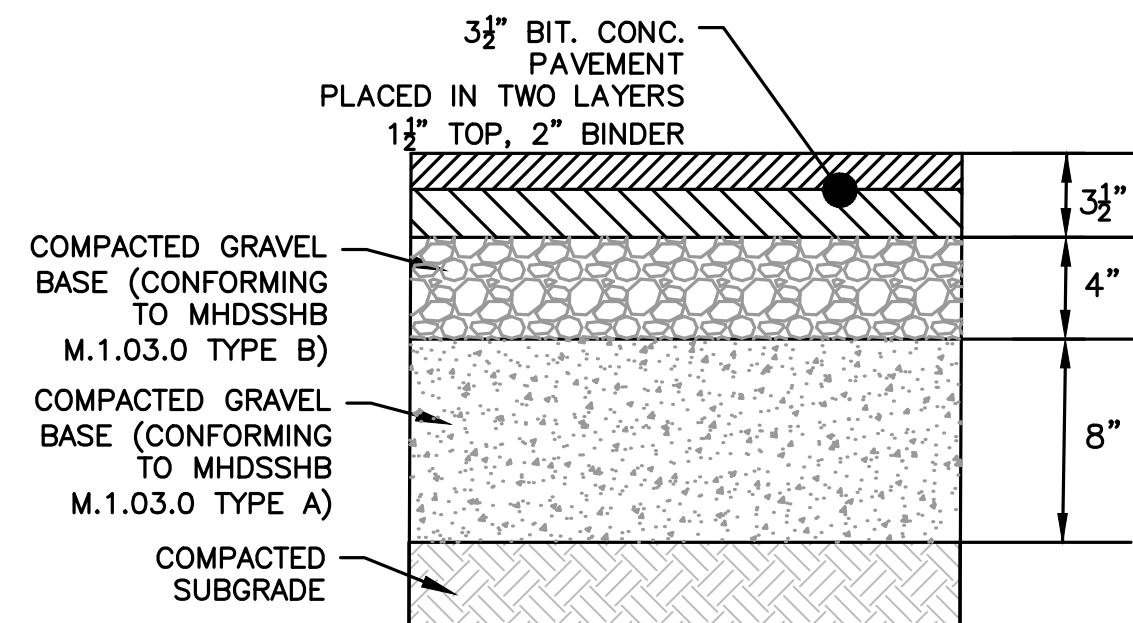


INVERTED \"U\" BICYCLE RACK
NOT TO SCALE

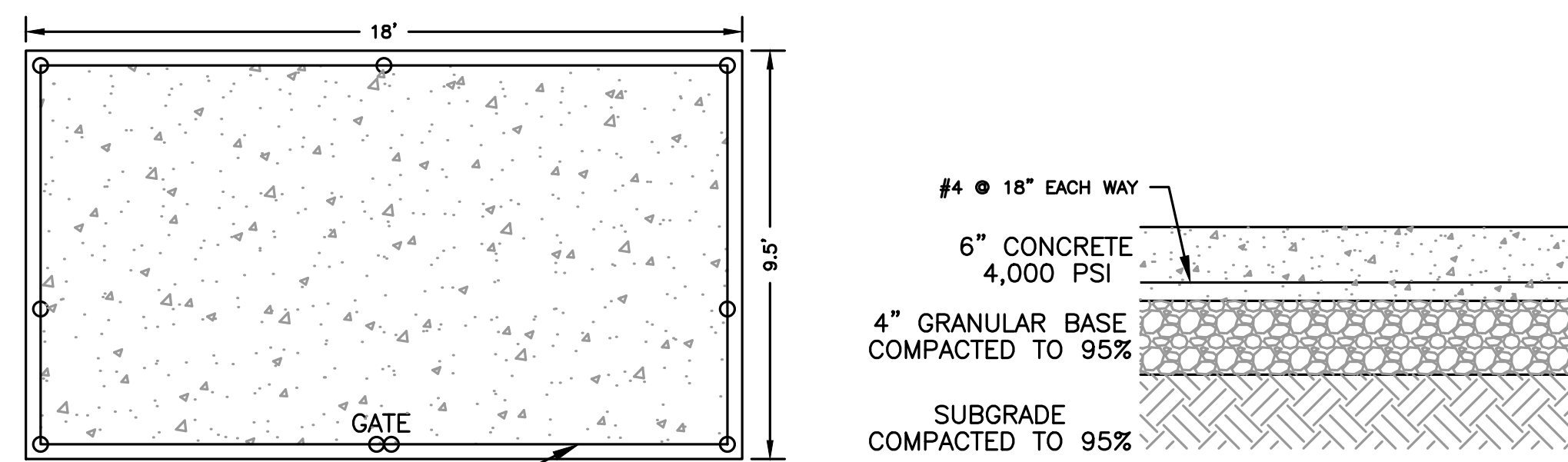


TYPICAL HANDICAP PARKING SPACE
NOT TO SCALE

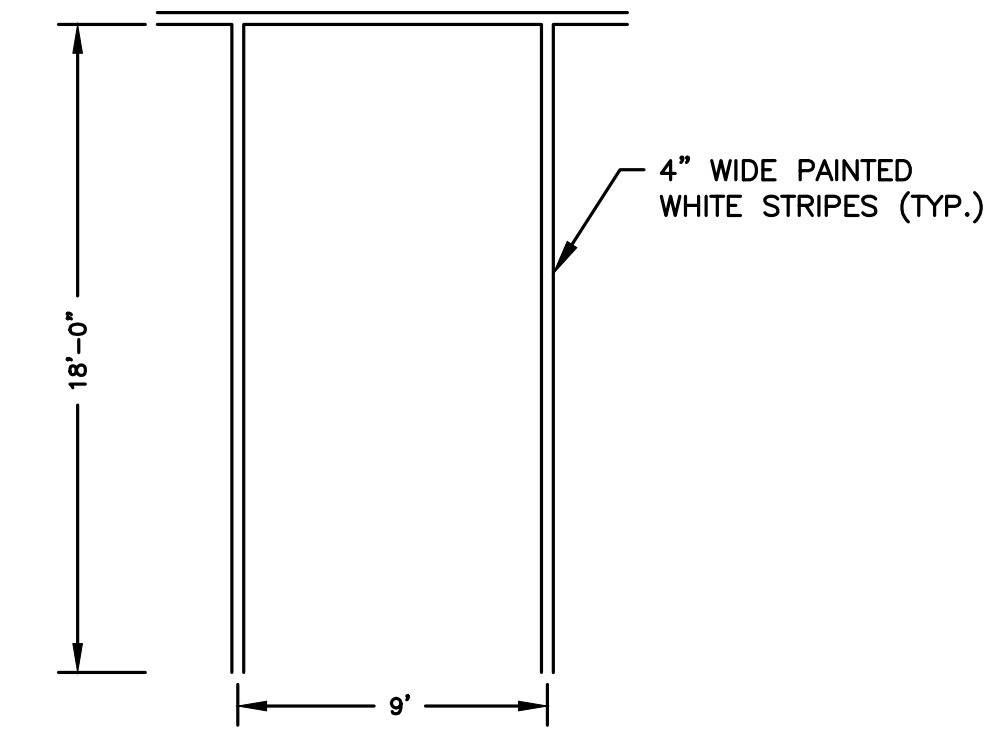
PREPARED FOR:
JONAS ANGUS
TPE SOLUTIONS, INC.
3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464



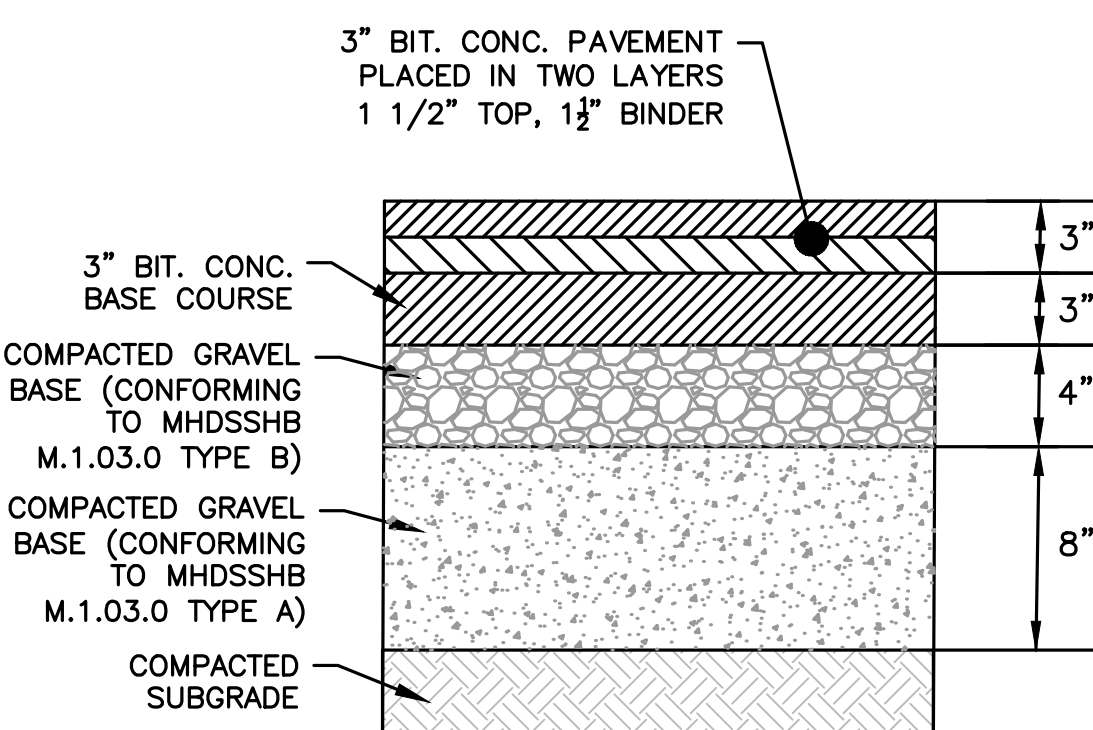
LIGHT DUTY PAVEMENT (BIT. CONC.) DETAIL
NOT TO SCALE



DUMPSTER PAD
NOT TO SCALE

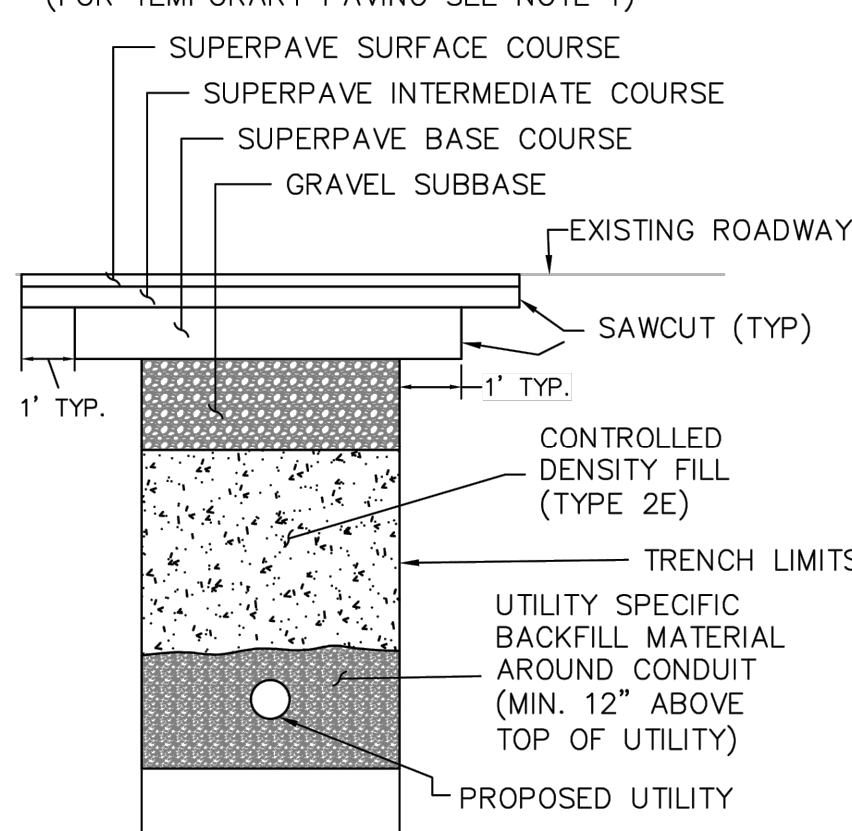


TYPICAL PARKING SPACE
NOT TO SCALE



HEAVY DUTY PAVEMENT (BIT. CONC.) DETAIL
NOT TO SCALE

TRENCH SECTION
N.T.S.
(FOR TEMPORARY PAVING SEE NOTE 1)



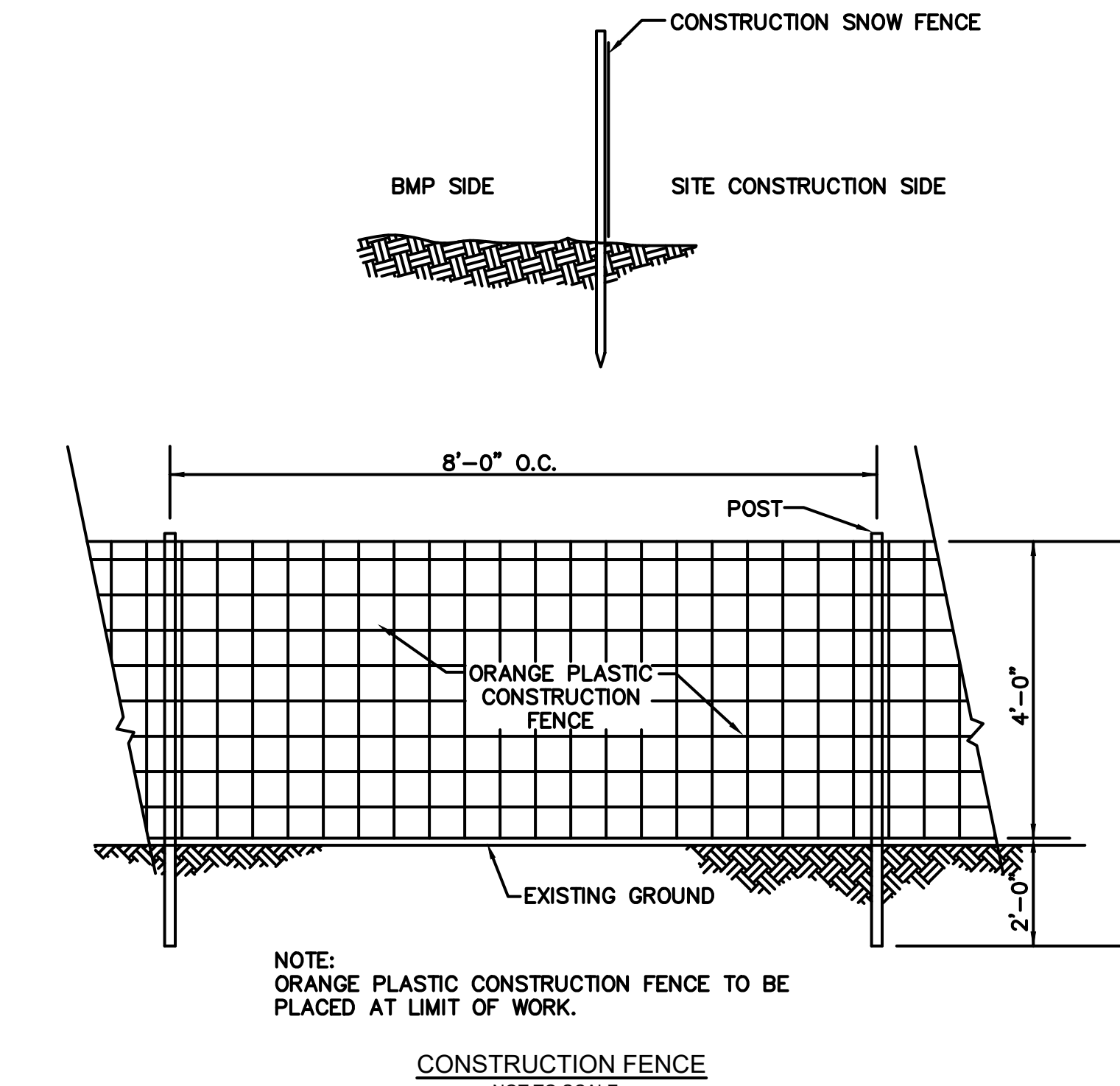
PAVEMENT NOTES*

- PAVEMENT MIX DEPTH SHALL MATCH OR EXCEED THE EXISTING DEPTH OF HMA.
- 1.75\"/>

- NOTES:**
- IF A TEMPORARY PATCH IS TO BE USED, THE CDF SHALL BE PLACED TO THE ELEVATION OF THE ADJOINING SUBGRADE, THEN GRAVEL SHALL BE PLACED AND COMPACTED TO WITHIN 3 1/2 INCHES OF THE FINISHED GRADE. THE LAST 3 1/2 INCHES SHALL BE HOT MIX ASPHALT PLACED IN TWO LAYERS: 1 1/2\"/>
 - MATERIAL WHICH MEETS THE SPECIFICATION FOR GRAVEL BORROW TYPE C (M1.03.0 TYPE C), PLACED AND COMPACTED IN LAYERS NO GREATER THAN 6\", MAY BE USED IN PLACE OF THE CDF WITH APPROVAL FROM THE DISTRICT HIGHWAY DIRECTOR.
 - THE EXPOSED EDGES OF ALL LONGITUDINAL AND TRANSVERSE SAW CUT JOINTS SHALL BE TREATED WITH HOT Poured RUBBERIZED ASPHALT JOINT SEALANT MEETING MASSDOT SPECIFICATIONS.
 - YELLOW METAL FOIL MARKING TAPE SHALL BE PLACED 18\"/>
 - FOR ROADS WITH AN EXISTING CEMENT CONCRETE BASE, A REINFORCED, HIGH EARLY STRENGTH AIR ENTRAINED, GLASS \"F\" CEMENT CONCRETE SLAB SHALL BE CAST IN PLACE TO MEET THE EXISTING PAVEMENT. SPECIFIC JOINT DETAILS WITH THE EXISTING PAVEMENT SHALL BE APPROVED DEPENDENT ON THE EXISTING SITE CONDITIONS.
 - ALL TRENCH DIMENSIONS SHALL BE IN ACCORDANCE WITH SUB-SECTION 140.80 OF THE MASSDOT STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - SIC 19.0 MAY BE SUBSTITUTED FOR SBC-37.5

	UTILITY TRENCH PERMANENT PAVEMENT REPAIR		DATE: 12.7.16	NTS
			DRAWING NO.: XXXX	
	Drawn By: AFN	Checked By: AFN		

UTILITY TRENCH PERMANENT PAVEMENT REPAIR
NOT TO SCALE



CONSTRUCTION FENCE
NOT TO SCALE

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS
2			
3			



LEVEL II SITE PLAN

DETAIL SHEET 2

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

DEC APPROVAL

CHAIRPERSON _____ DATE _____



HOWARD STEIN HUDSON
 114 Turnpike Road, Suite 2C
 Chelmsford, MA 01824
 www.hshassoc.com

PREPARED FOR:
 JONAS ANGUS
 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS

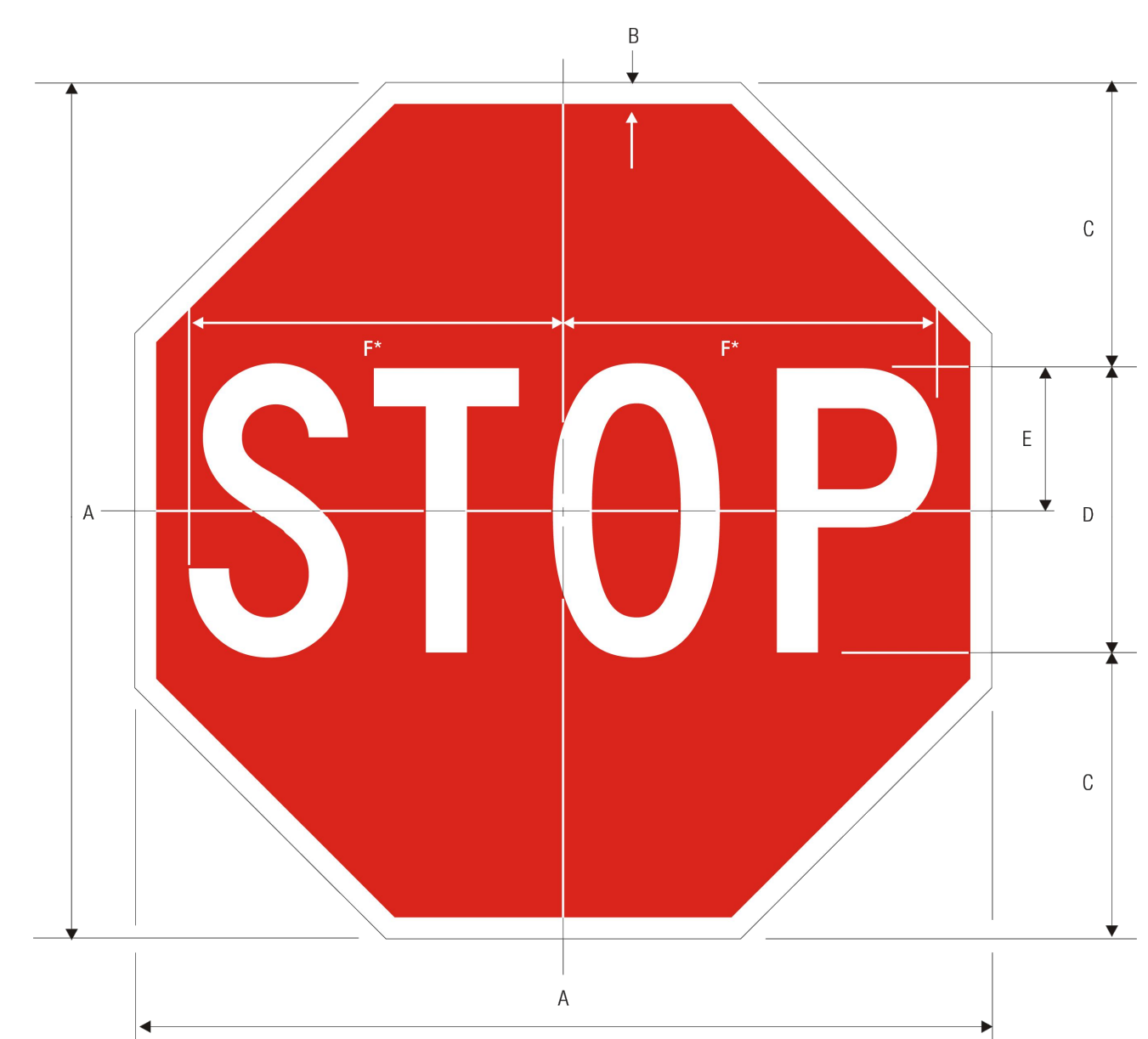


LEVEL II
 SITE PLAN

DETAIL
 SHEET 3

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

C.13

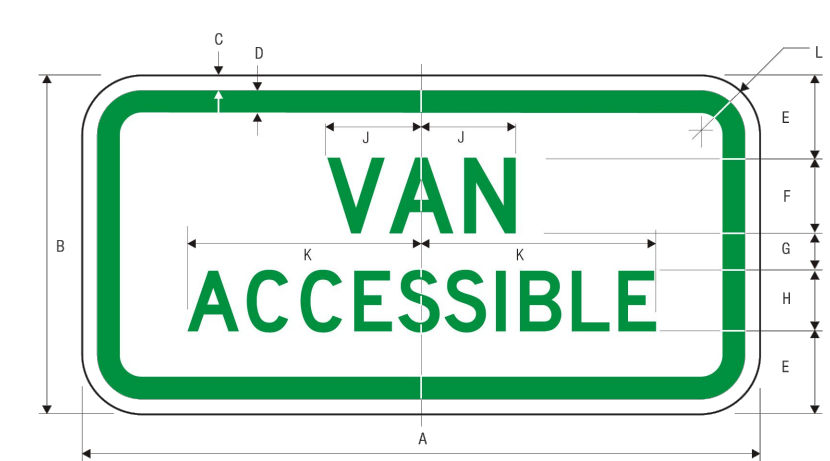


R1-1
 STOP
 *Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND - WHITE (RETROREFLECTIVE)
 BACKGROUND - RED (RETROREFLECTIVE)

STOP SIGN DETAIL
 NOT TO SCALE



R7-8a
 VAN ACCESSIBLE



R7-8b
 VAN ACCESSIBLE

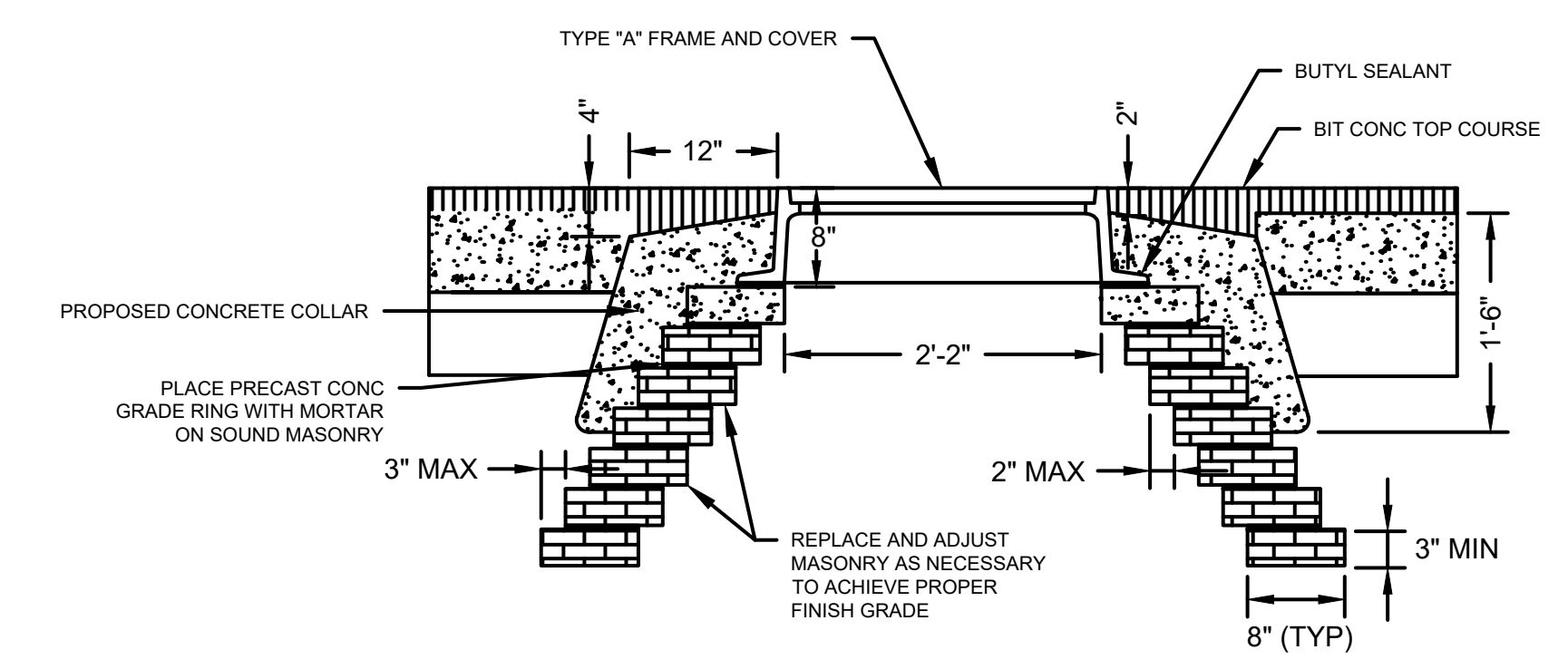
A	B	C	D	E	F	G	H	J	K	L
12	6	.375	4.38	1.5	15.0	5	1.0	1.875	3.889	1.5
18	9	.375	4.38	2.25	2.0	7	1.5	2.400	5.794	1.5

PARKING APPLICATION: LEGEND - GREEN (RETROREFLECTIVE) OR BLACK BACKGROUND - WHITE (RETROREFLECTIVE)
 DIRECTIONAL APPLICATION: LEGEND - WHITE (RETROREFLECTIVE) BACKGROUND - BLUE (RETROREFLECTIVE)

ACCESSIBLE PARKING SIGN
 NOT TO SCALE

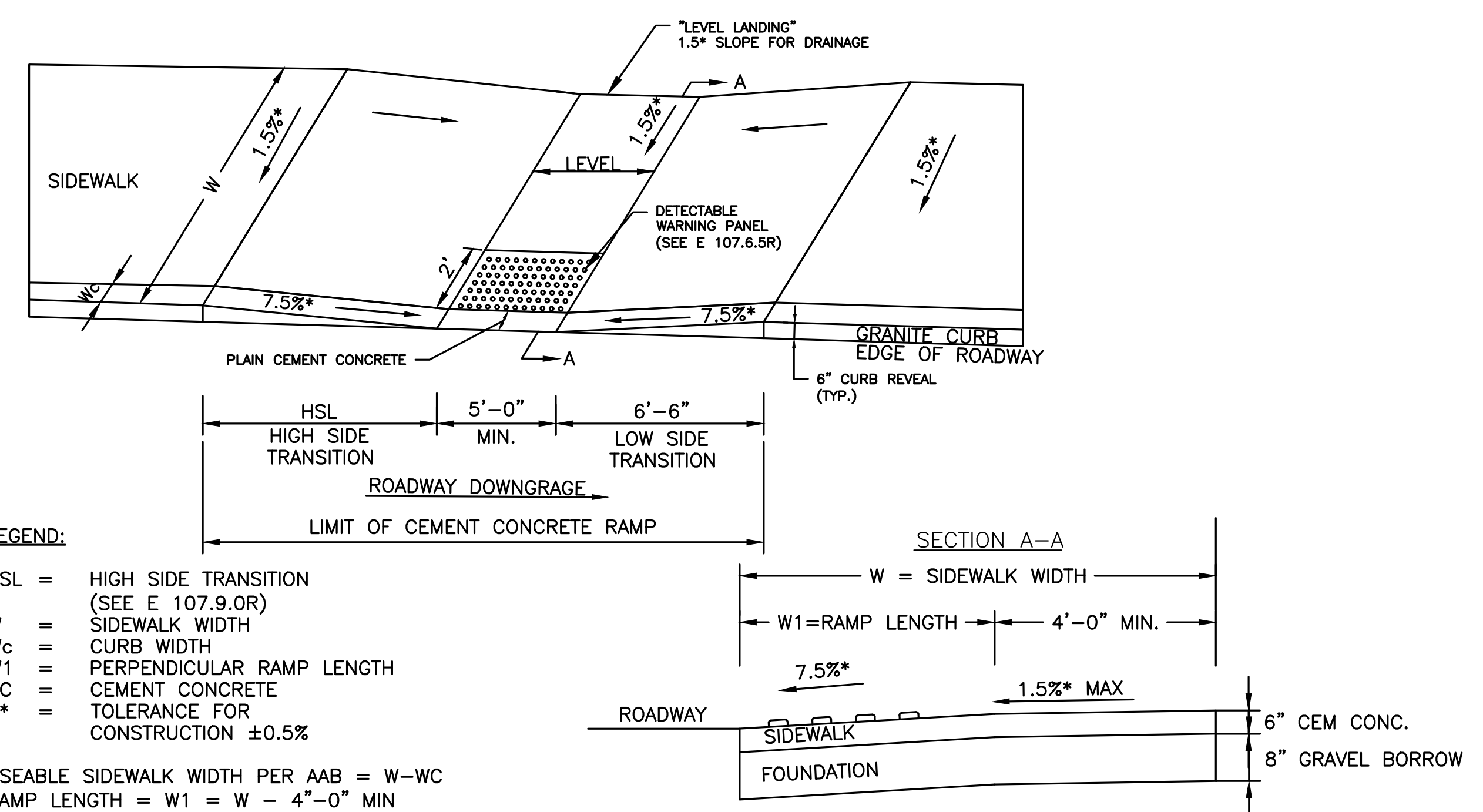


R7-8 NO PARKING
 LEGEND - GREEN (RETROREFL), WHITE SYMBOL ON BLUE (RETROREFL)
 BACKGROUND - WHITE (RETROREFL)



- NOTES:
- DIMENSIONS INDICATED ARE MINIMUM ACCEPTABLE EXCEPT WHERE OTHERWISE STATED. THE ENTIRE EXCAVATION SHALL BE FILLED WITH CONCRETE.
 - APPLY SEALANT TO SURFACE OF COLLAR AND MANHOLE FRAME PRIOR TO PLACING BITUMINOUS CONCRETE TOP.
 - ADJACENT TO CASTING, PLACE AND COMPACT BITUMINOUS CONCRETE TOP IN TWO COURSES.

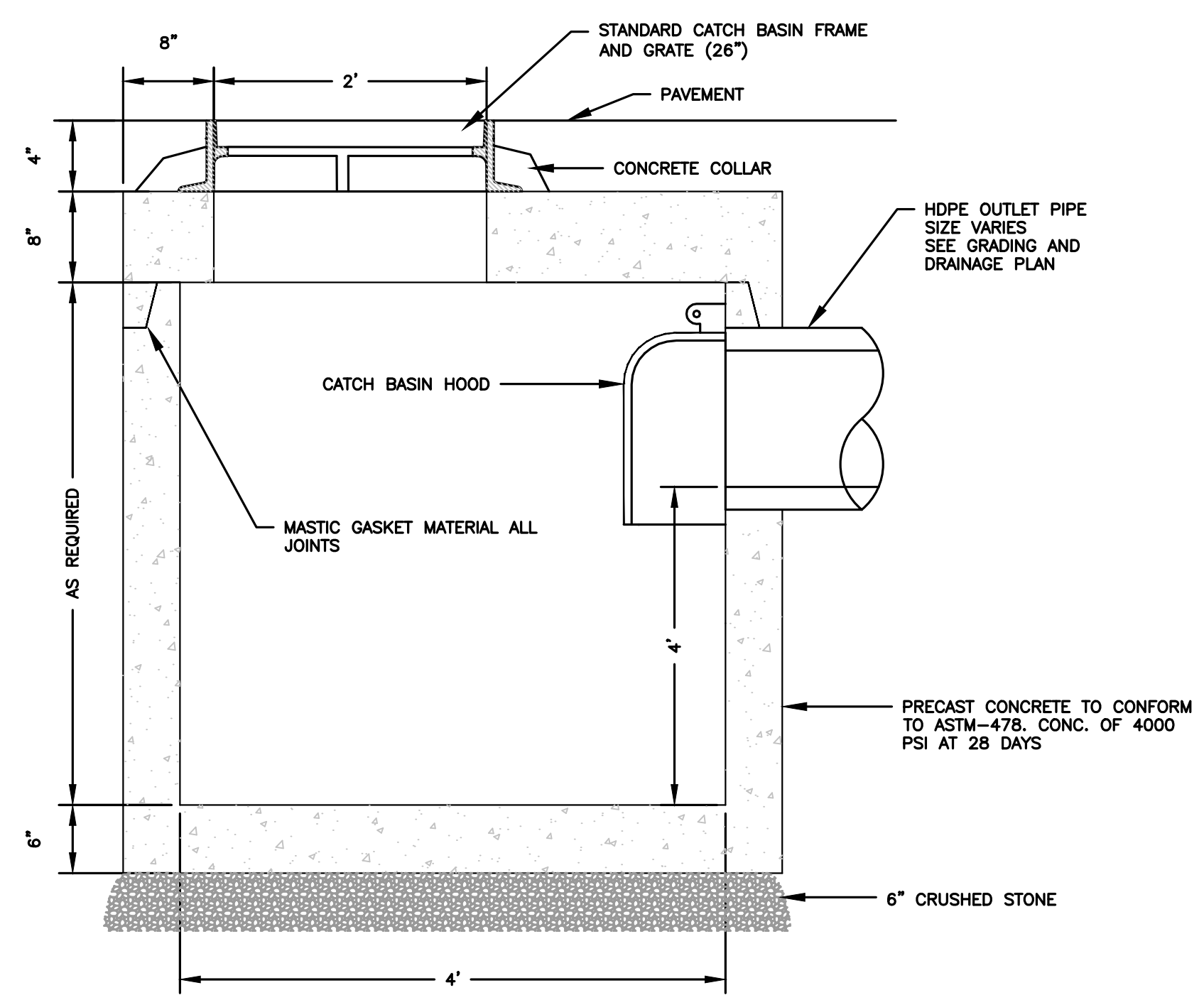
BRICK MANHOLE ADJUSTMENT TO GRADE
 NOT TO SCALE



LEGEND:
 HSL = HIGH SIDE TRANSITION (SEE E 107.9.0R)
 W = SIDEWALK WIDTH
 Wc = CURB WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 CC = CEMENT CONCRETE
 * = TOLERANCE FOR CONSTRUCTION ±0.5%

USEABLE SIDEWALK WIDTH PER AAB = W - WC
 RAMP LENGTH = W1 = W - 4'-0" MIN

**WHEELCHAIR RAMP ON NARROW SIDEWALK WITH
 DETECTABLE WARNING PANEL (E107.2.1R)**
 NOT TO SCALE



SHALLOW CATCH BASIN DETAIL
 NOT TO SCALE

DEC APPROVAL

CHAIRPERSON _____ DATE _____



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 WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS

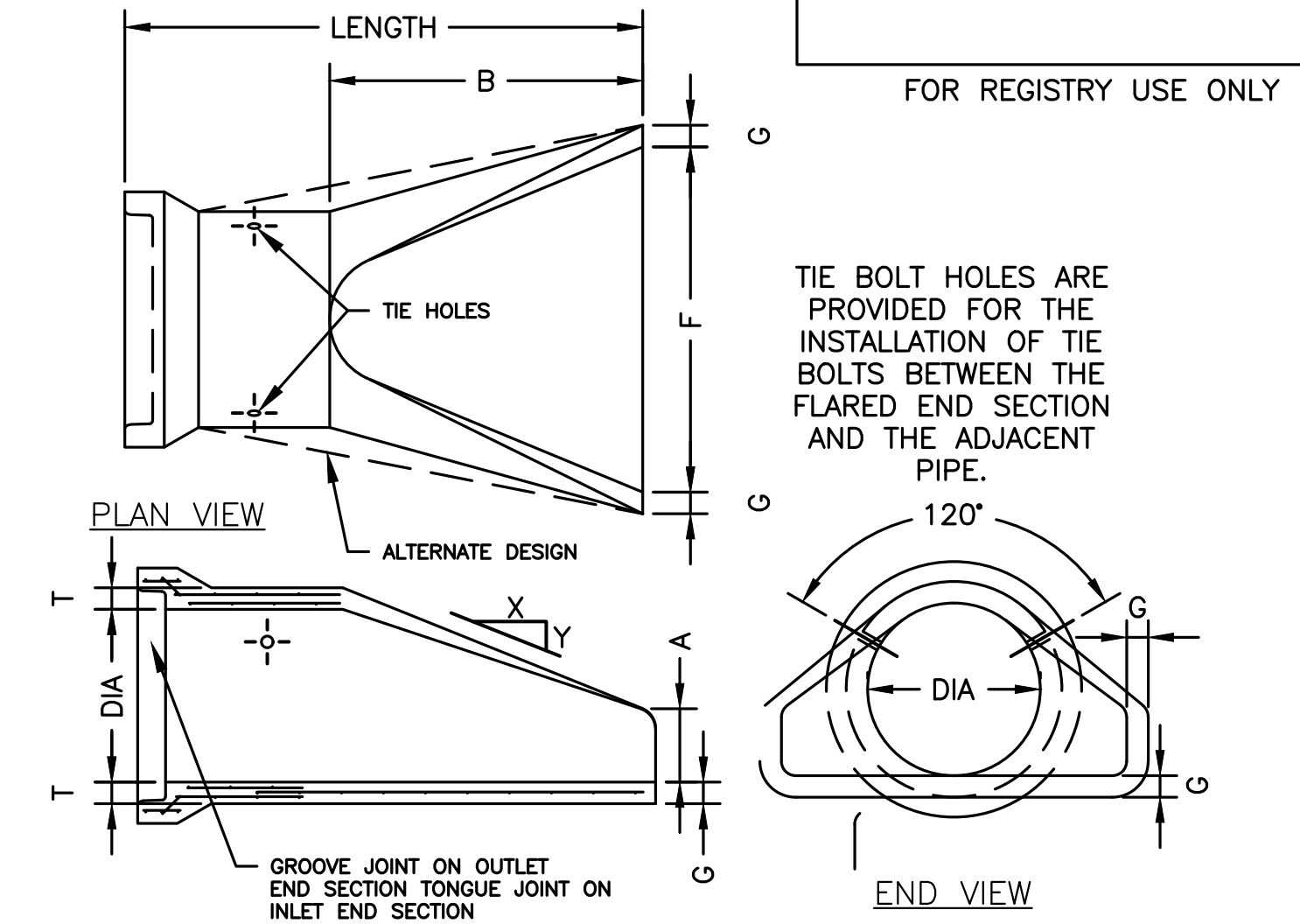
LEVEL II
 SITE PLAN

DETAIL
 SHEET 4

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

C.14

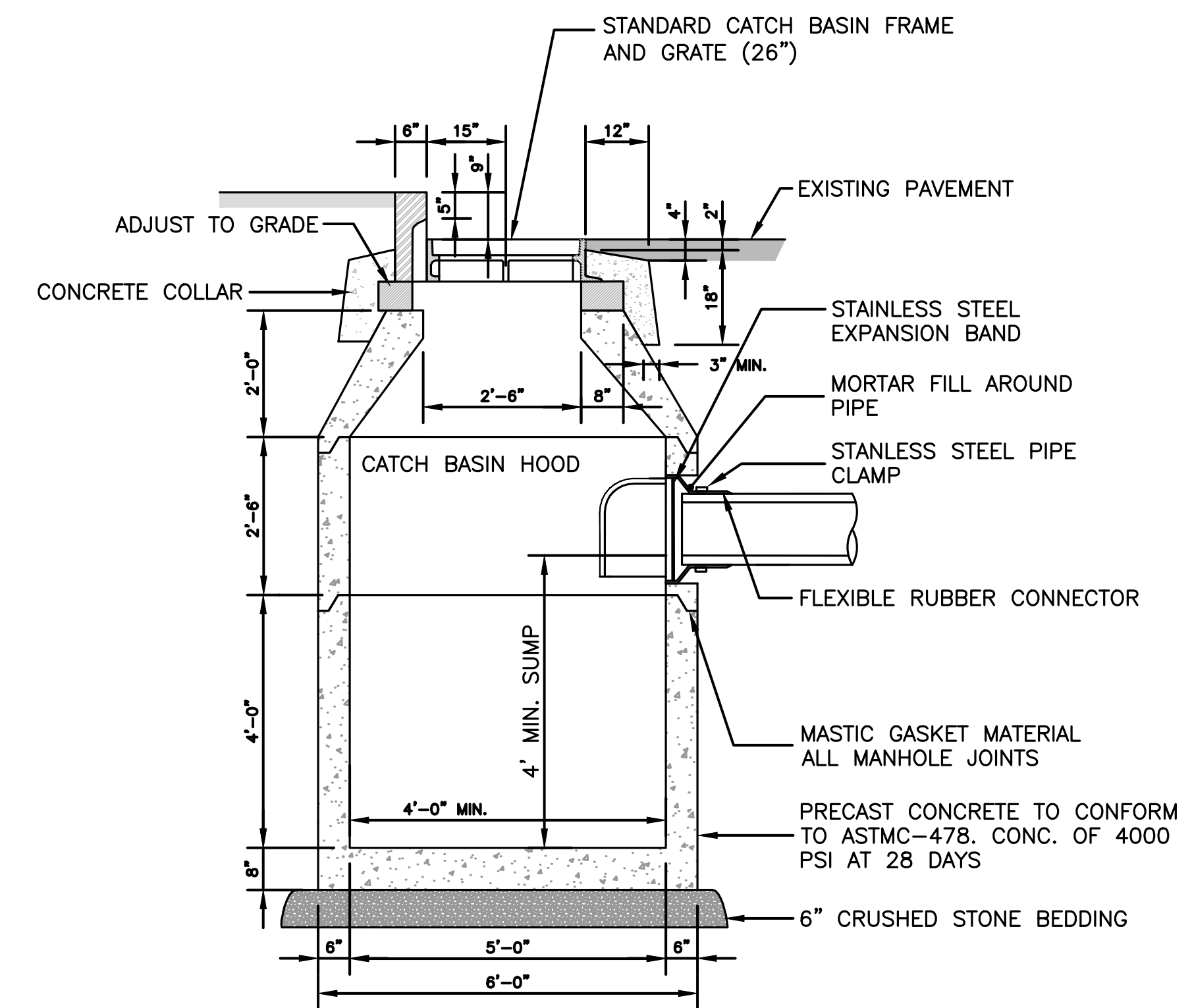
SHEET 14 OF 23



LONGITUDINAL SECTION

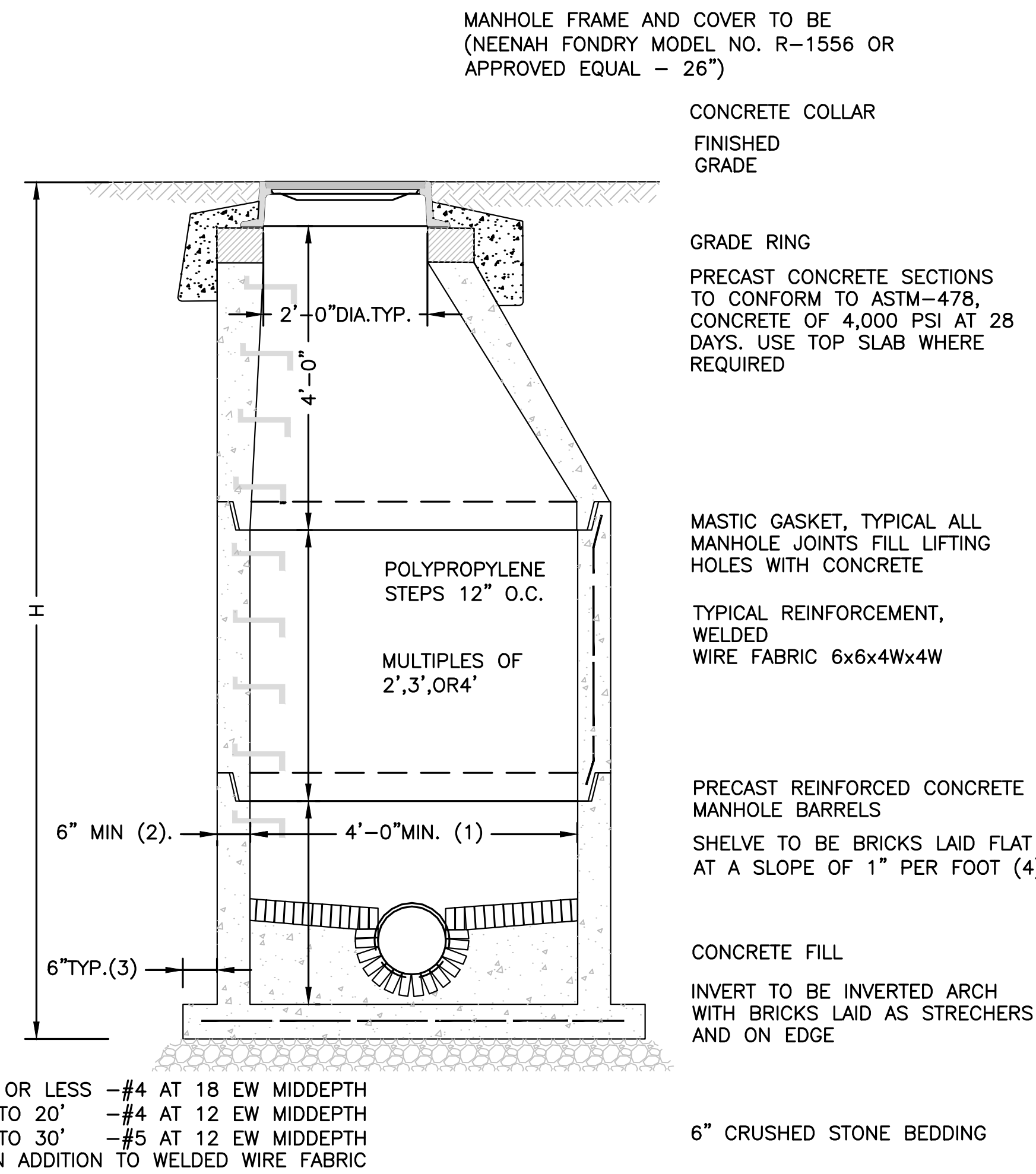
PIPE DIA	LENGTH		SLOPE (X TO Y)	T	A	B	F	G	WEIGHT/SECTION (LBS)
	OUTLET	INLET							
12"	6'-0"	6'-0"	2.4 TO 1	2"	4"	24"	24"	2"	530
15"	6'-0"	6'-0"	2.4 TO 1	2 1/2"	6"	27"	30"	2 1/2"	740
18"	6'-0"	6'-0"	2.3 TO 1	2 1/2"	9"	27"	36"	2 1/2"	990
21"	6'-0"	6'-0"	2.4 TO 1	2 3/4"	9"	36"	42"	2 3/4"	1280
24"	6'-0"	6'-0"	2.5 TO 1	3"	9 1/2"	43 1/2"	48"	3"	1520

FLARED END OUTLET
 NOT TO SCALE



NOTES:
 1. ADEQUATE FOR H=20 MINIMUM LOADING.

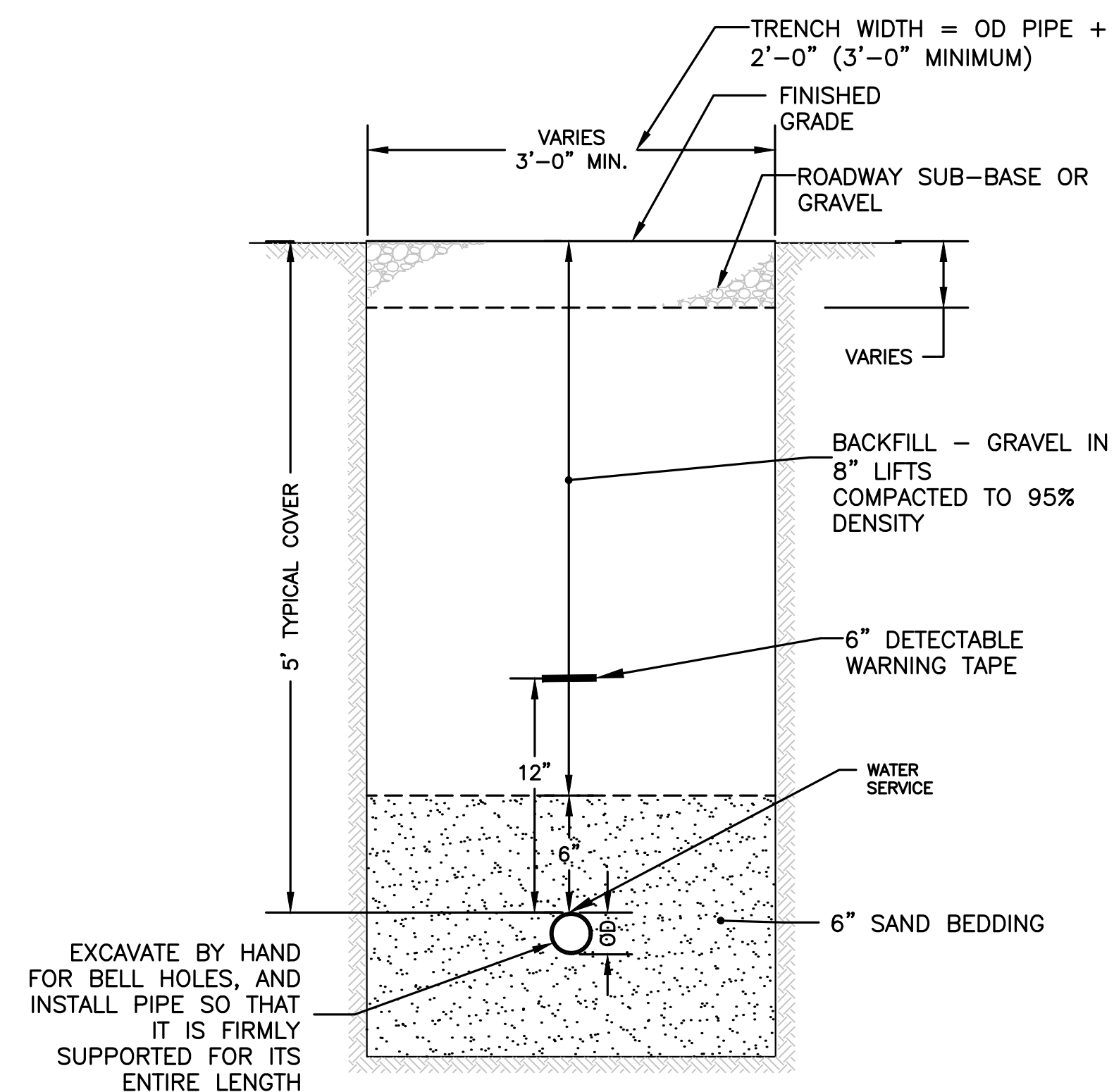
CATCH BASIN
 NOT TO SCALE



PRECAST CONCRETE MANHOLE
 NOT TO SCALE

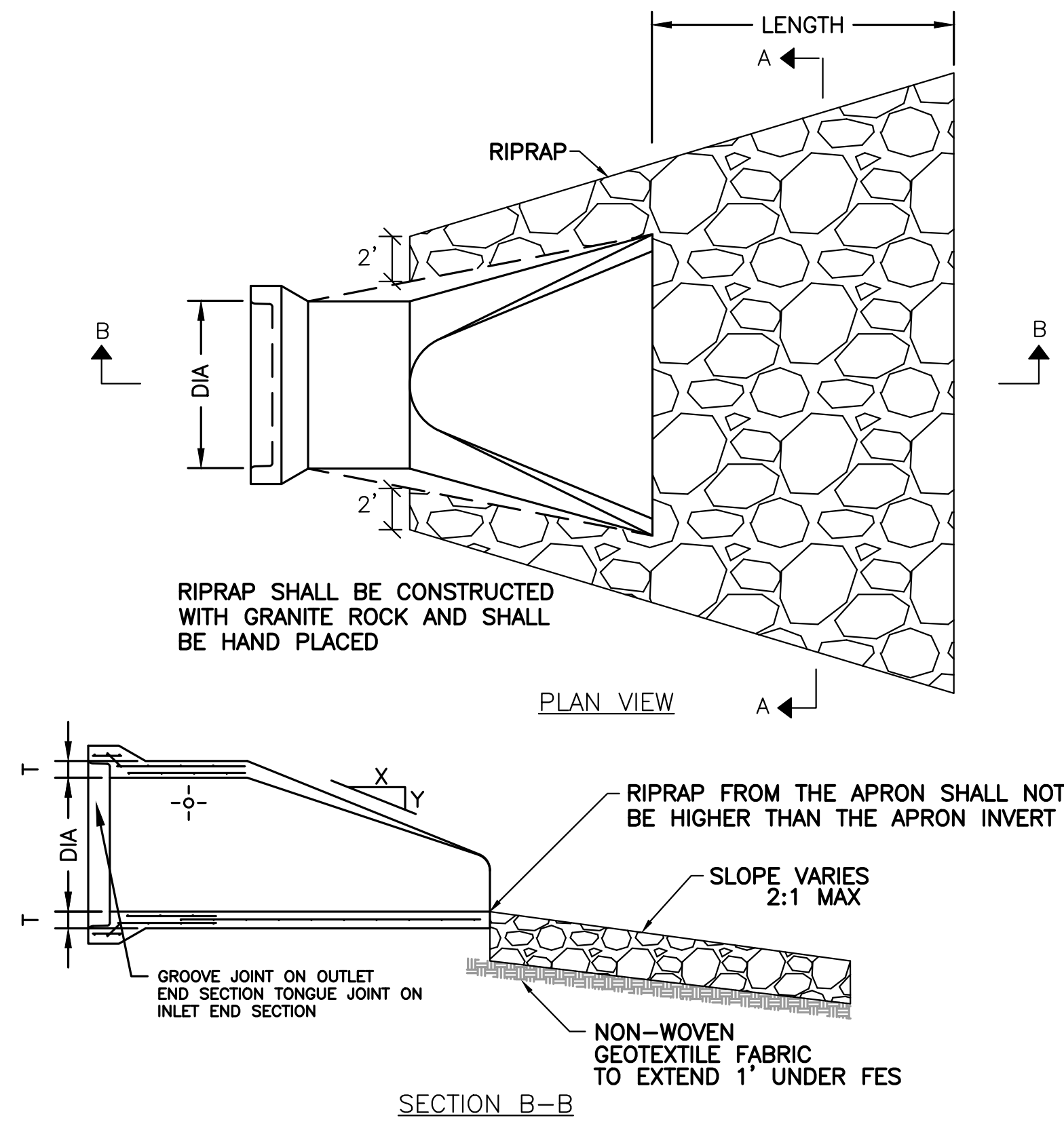
H= 10' OR LESS -#4 AT 18 EW MIDDEPTH
 H= 10' TO 20' -#4 AT 12 EW MIDDEPTH
 H= 20' TO 30' -#5 AT 12 EW MIDDEPTH
 IN ADDITION TO WELDED WIRE FABRIC

- NOTES:
 1. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
 2. 6 INCH MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 3. 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED. CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.



TRENCH DETAIL - WATER SERVICE
 NOT TO SCALE

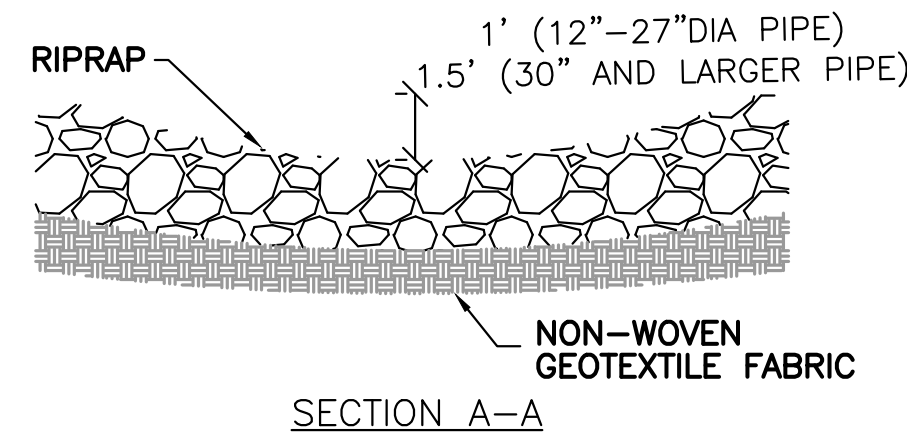
EXCAVATE BY HAND FOR BELL HOLES, AND INSTALL PIPE SO THAT IT IS FIRMLY SUPPORTED FOR ITS ENTIRE LENGTH



NOTE: ONE CUBIC YARD IS APPROXIMATELY 1.4 TONS.

MINIMUM RIPRAP REQUIRED

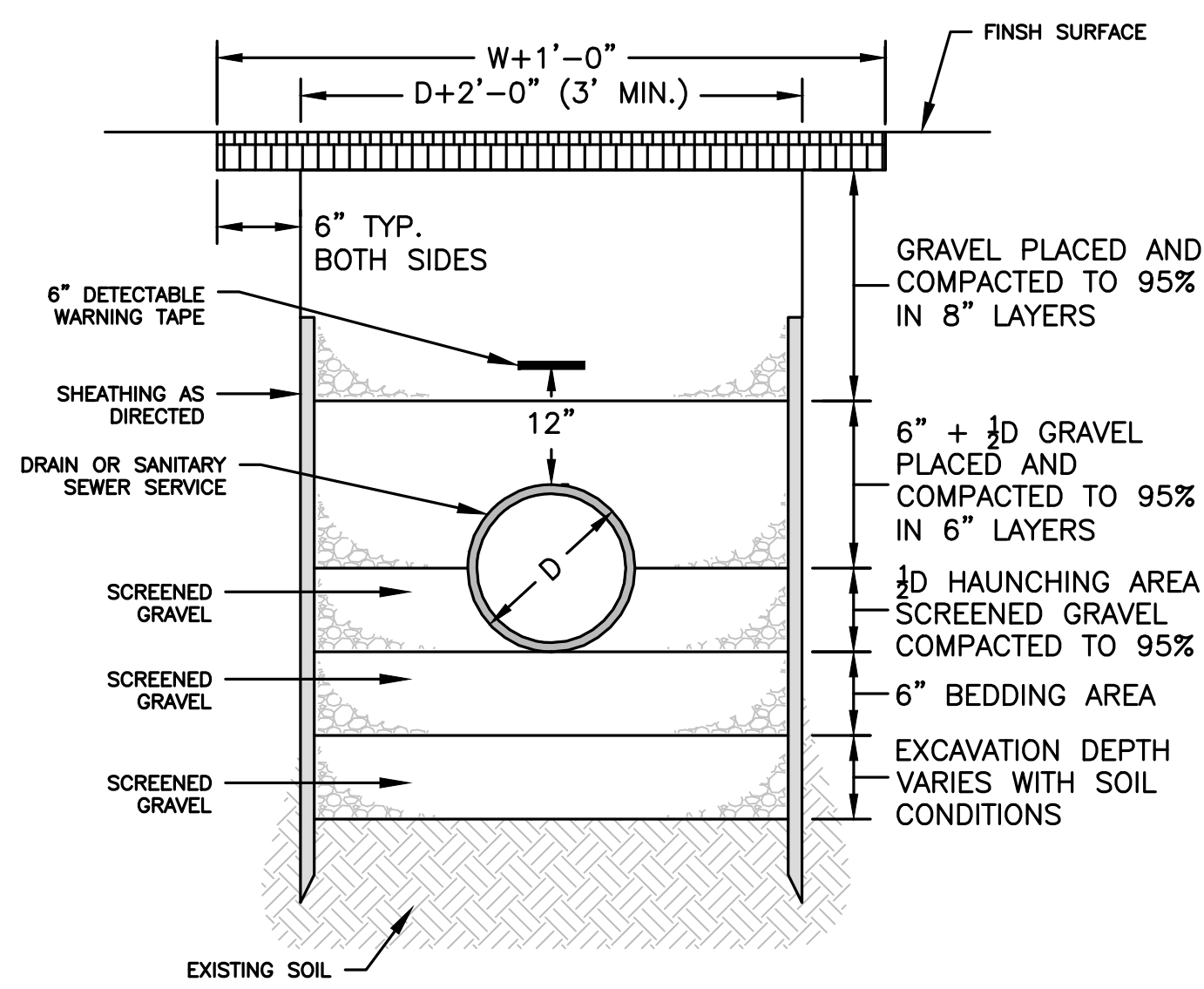
PIPE DIA (IN.)	LENGTH (FT.)	QUANTITY (C.Y.)	CLASS
12"	8'	5	III
15"	8'	5	III
18"	10'	6	III
24"	12'	8	III
30"	14'	12	III
36"	16'	14	III
42"	18'	22	IV
48"	20'	26	IV
>48"	22'-28'	30-40	IV



RIPRAP FOR FLARED END SECTION
 NOT TO SCALE

OWNERSHIP
 270 BILLERICA, LLC OR
 FUTURE OWNER

FOR SYSTEM MAINTENANCE
 REQUIREMENTS REFER TO SUPPLEMENTAL
 DATA REPORT O&M. PROPERTY
 OWNERSHIP IS RESPONSIBLE FOR
 ENSURING PROPER O&M OF SYSTEM.



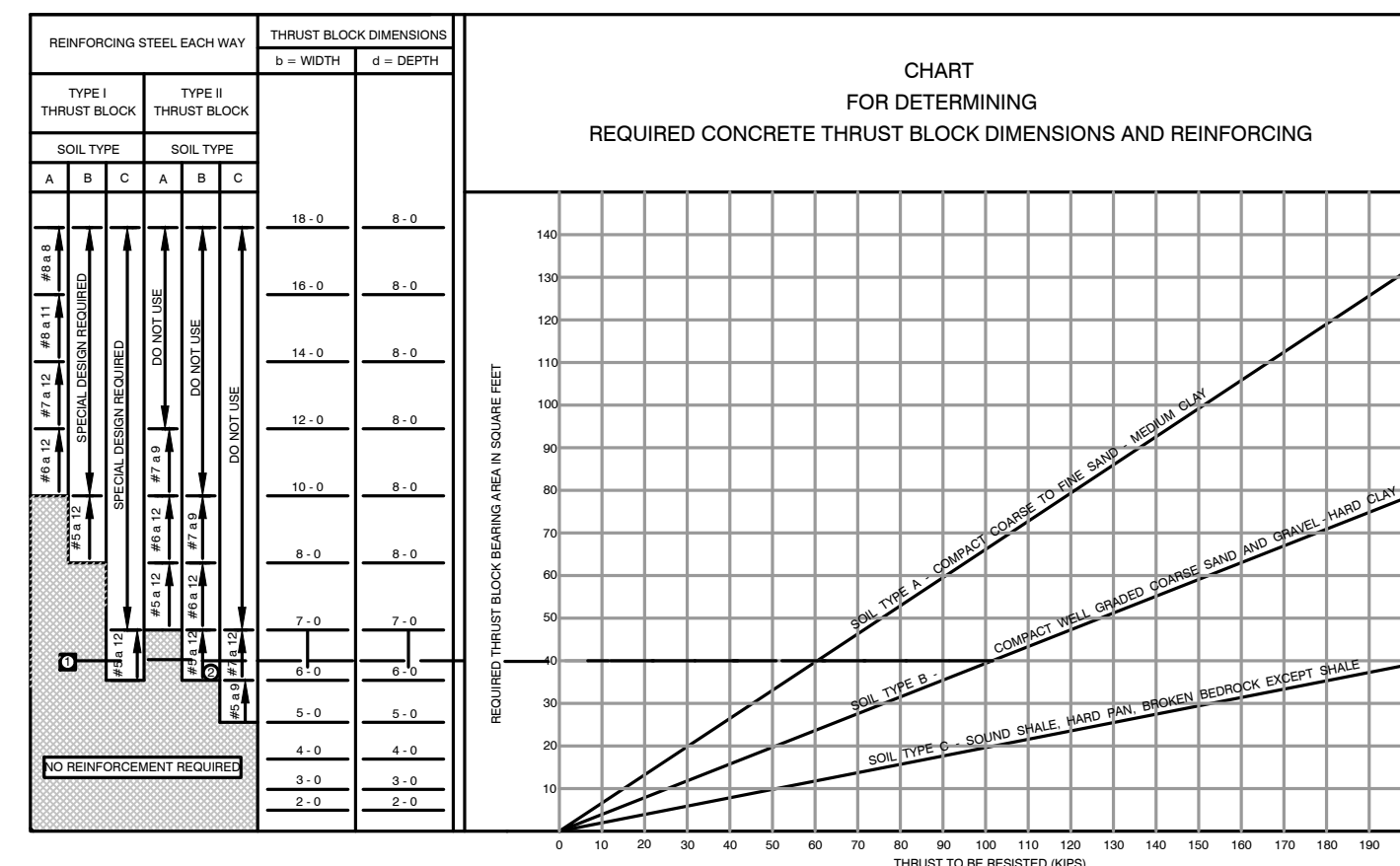
TRENCH DETAIL - DRAINAGE OR SANITARY SEWER SERVICE
 NOT TO SCALE

DEC APPROVAL

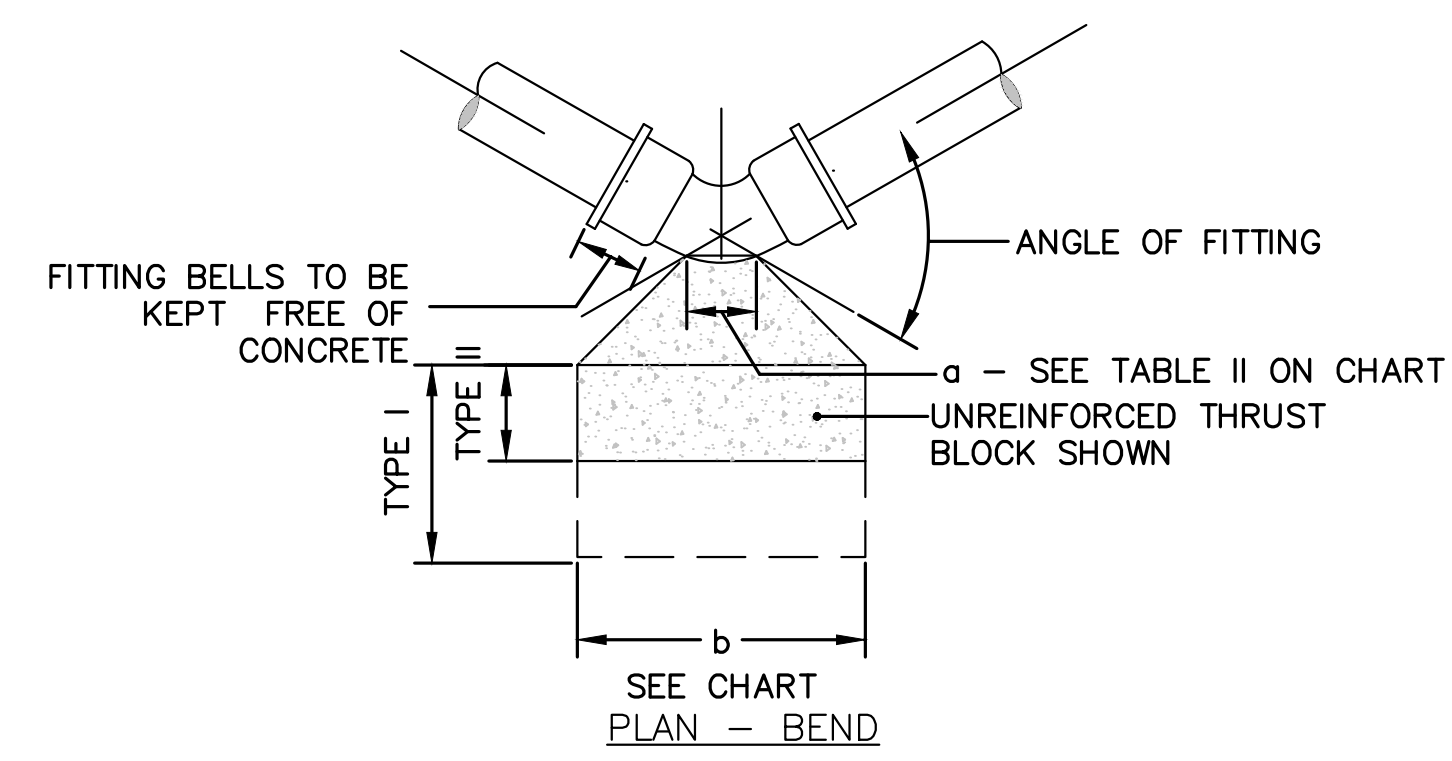
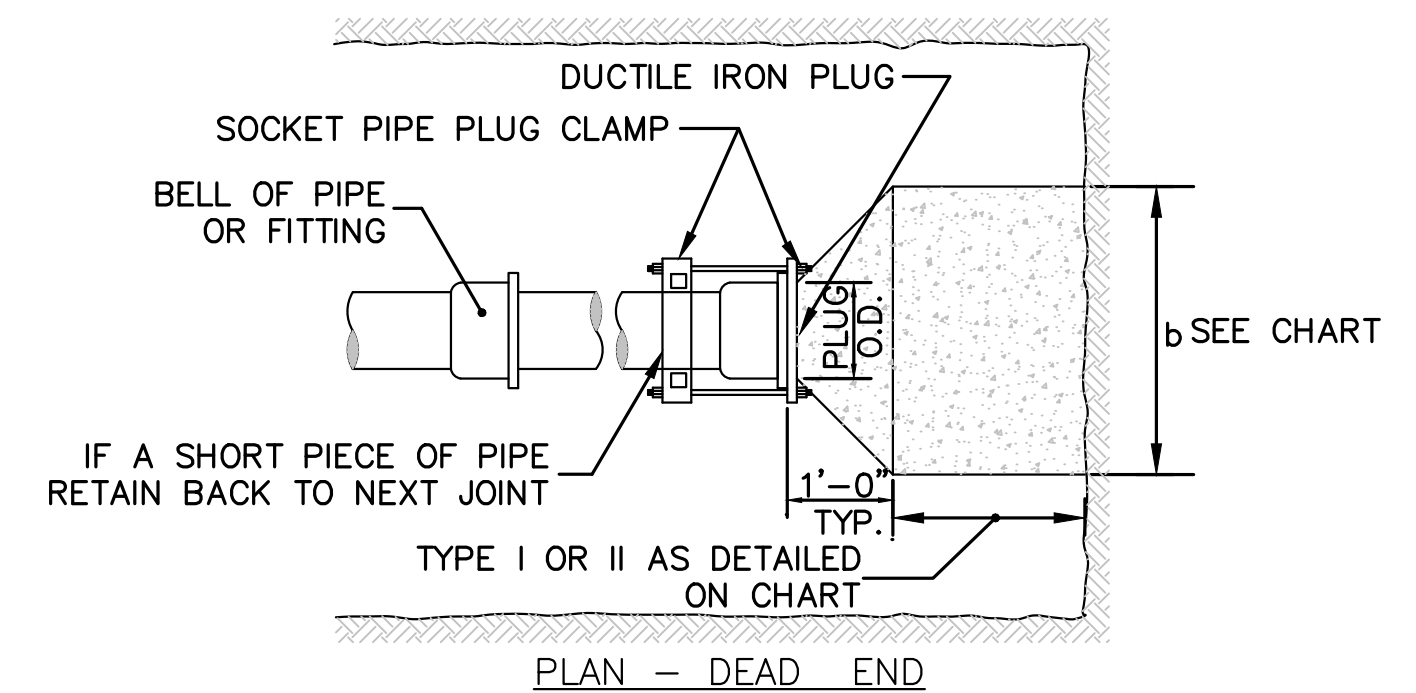
CHAIRPERSON _____ DATE _____

PIPE DIAMETER - INCHES	NO FITTING	OTHERS
4.5 - 10.5	1.4	1.5
10.5 - 15.5	2.4	1.8
15.5 - 20.5	3.4	2.2

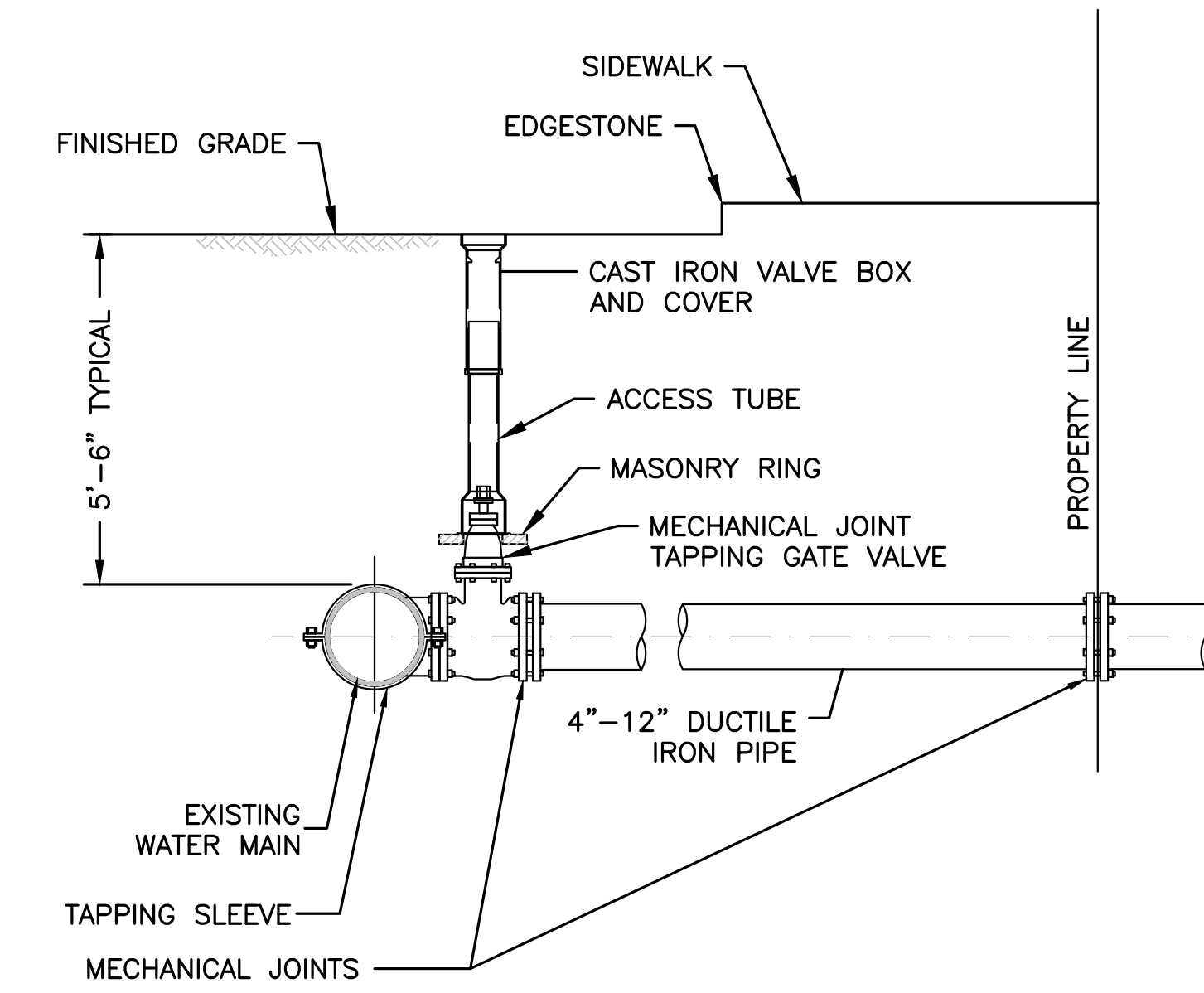
PIPE DIAMETER - INCHES	4	6	8	10	12	14	16	18	20	24	30	36	42
48	7.9	14.2	22.1	32.1	43.9	56.8	70.7	85.7	101.7	118.7	136.7	154.7	172.7
60	11.1	17.5	26.1	36.1	47.9	60.8	74.7	89.7	105.7	122.7	140.7	158.7	176.7
72	14.3	21.7	31.7	42.7	54.5	67.4	81.3	96.3	112.3	129.3	147.3	165.3	183.3
84	17.5	26.1	37.1	49.1	61.9	75.8	90.7	106.7	123.7	141.7	160.7	178.7	196.7
96	20.7	29.7	41.7	53.7	66.5	80.4	95.3	111.3	128.3	146.3	165.3	183.3	201.3
108	23.9	33.9	45.9	57.9	70.7	84.6	99.5	115.5	132.5	150.5	169.5	187.5	205.5
120	27.1	37.1	49.1	61.1	73.9	87.8	102.7	118.7	135.7	153.7	172.7	190.7	208.7



THRUST BLOCK DIMENSIONS
NOT TO SCALE

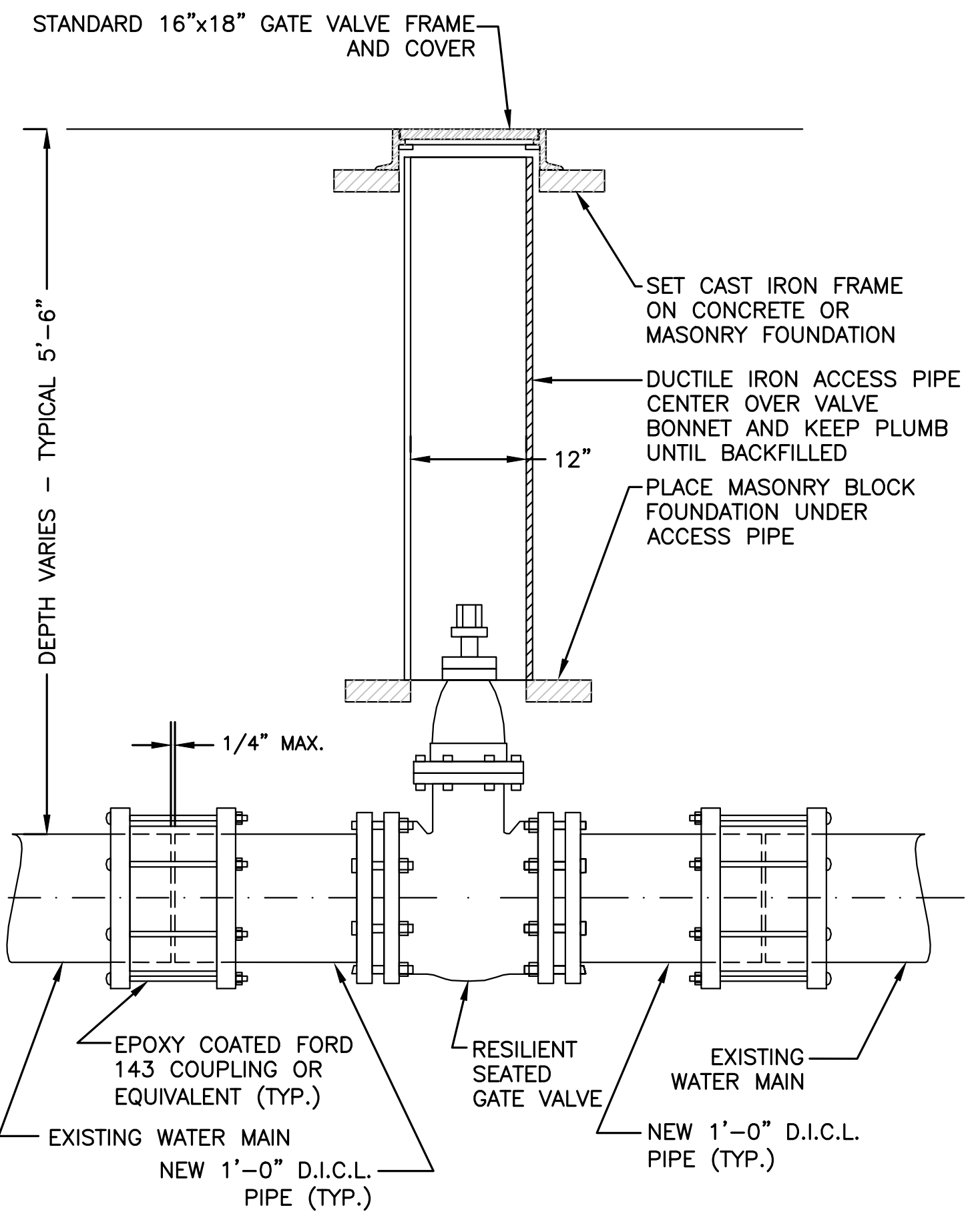


THRUST BLOCK
NOT TO SCALE



- NOTES:**
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

TAPPING SLEEVE & VALVE
NOT TO SCALE

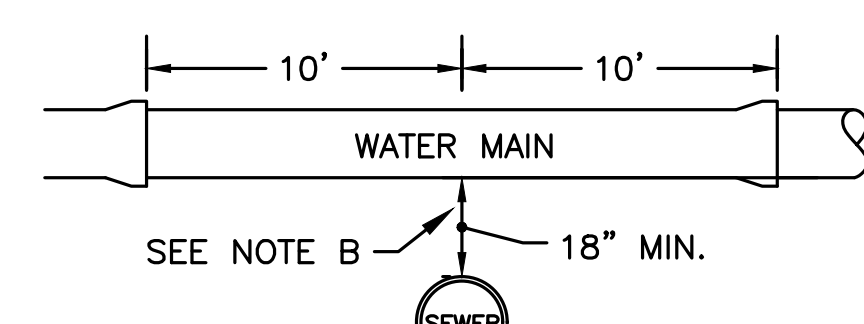


- NOTE:**
- ALL EXCAVATION AND BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON REQUIREMENTS.

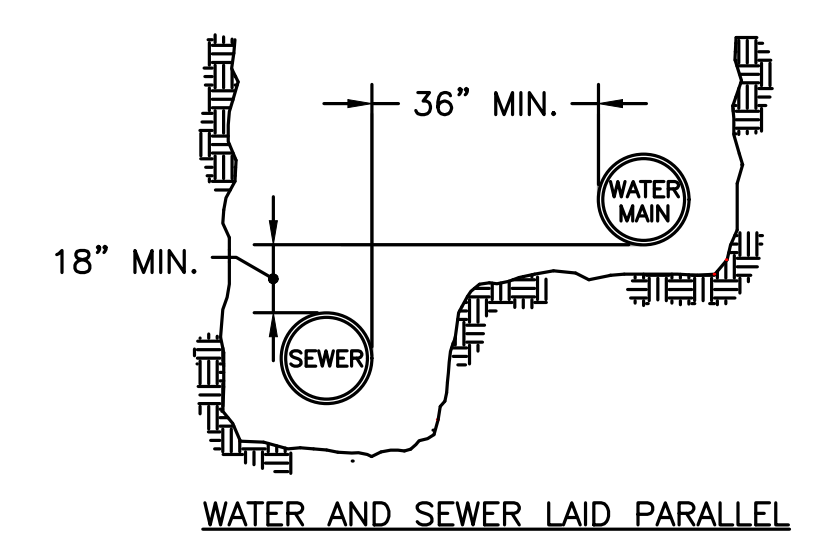
TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE

DEC APPROVAL

CHAIRPERSON _____ DATE _____



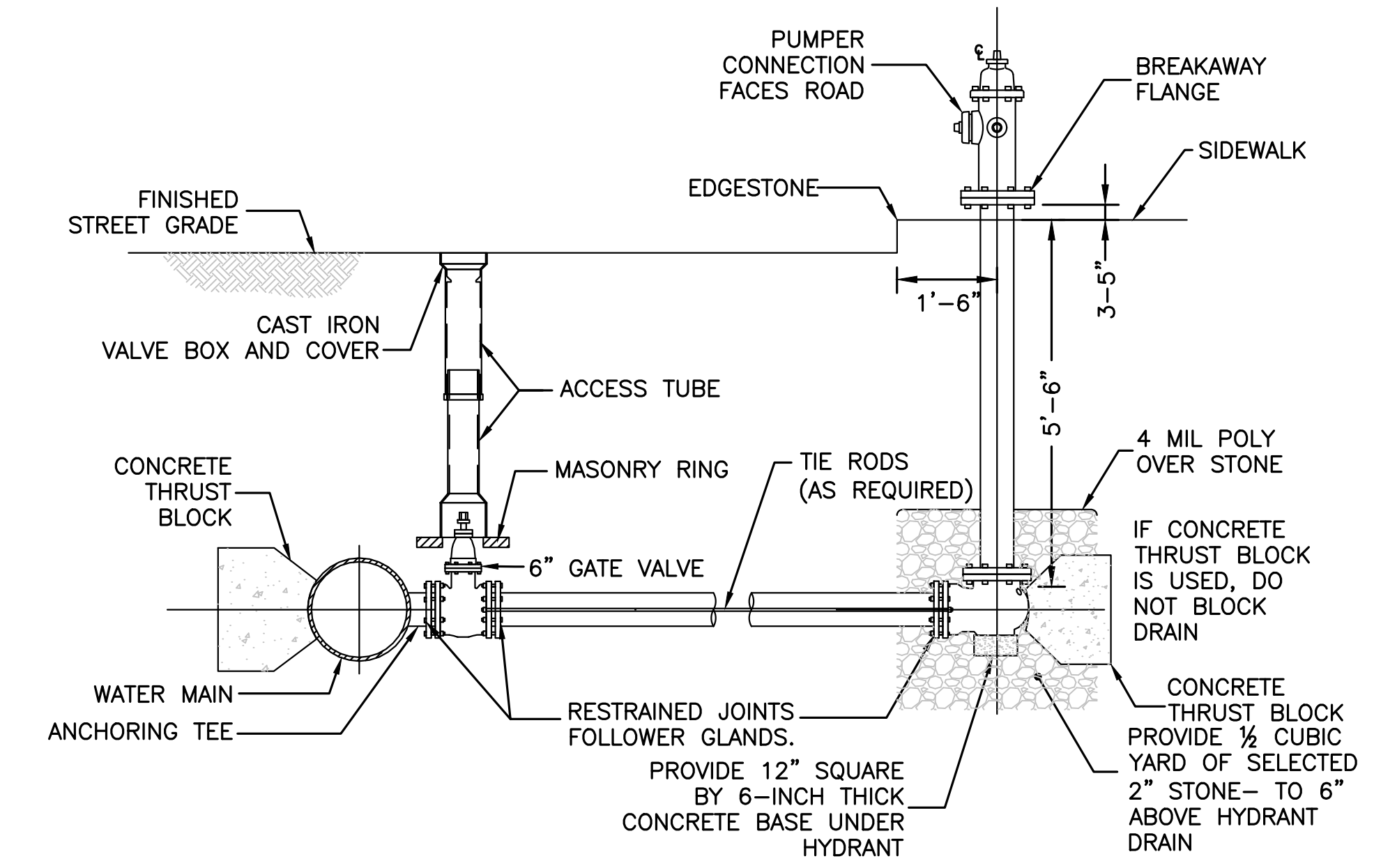
WATER AND SEWER CROSSING



WATER AND SEWER LAID PARALLEL

SEWER/WATER SEPARATION & CROSSING DETAIL
NOT TO SCALE

- NOTES:**
- THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE FOLLOWING GENERAL REQUIREMENTS.
- PARALLEL INSTALLATION:**
 - NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER MAIN SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
 - WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, ONE OF TWO METHODS MAY BE EMPLOYED. IN BOTH CASES THE INVERT OF THE WATER LINE MUST BE AT LEAST 18" ABOVE THE CROWN OF THE SEWER LINE.
 - LAY WATER AND SEWER IN SEPARATE TRENCHES WITH THE WATER MAIN AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH WITH A MINIMUM HORIZONTAL SEPARATION FROM INSIDE PIPE TO INSIDE PIPE OF 36"
- CROSSINGS:**
 - WHEN SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER LAID SUCH THAT THE INVERT OF THE WATER LINE IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER LINE.
 - WHEN THE SEWER ELEVATION CANNOT BE VARIED TO MEET THE REQUIREMENT, THE WATER LINE MUST BE RELOCATED OR RECONSTRUCTED WITH MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10 FT ON EACH SIDE OF THE SEWER.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN EITHER OR BOTH OF THE ABOVE REQUIREMENTS, BOTH THE WATER AND SEWER LINES SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT MATERIAL. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS OR BOTH PIPES SHALL BE ENCASED IN CONCRETE.



- NOTES:**
- HYDRANT TO BE EITHER AFC AMERICAN AVK MODEL 2780, CLOW MEDALLION, MUELLER SUPER CENTURION 250, OR AMERICAN FLOW MODEL B-84-B-5 HYDRANT.
 - HYDRANTS SHALL BE OPEN LEFT
 - THE DIRECTION OF THE NOZZLES CAN BE CHANGED 360 DEGREES BY ROTATING THE HYDRANT WITHOUT DIGGING UP THE HYDRANT
 - HYDRANT SHALL HAVE TWO (2) 2.5" HOSE NOZZLES AND ONE (1) 4.5" PUMPER NOZZLE.

TYPICAL FIRE HYDRANT CONNECTION FOR HIGH OR LOW SERVICE LINE
NOT TO SCALE

HOWARD STEIN HUDSON
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3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464

PROPOSED WAREHOUSE
33 LAKE GEORGE STREET
DEVENS, MA, 01434
WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
SITE PLAN

DETAIL
SHEET 5

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE

C.15



HOWARD STEIN HUDSON
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 Chelmsford, MA 01824
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PREPARED FOR:

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 SHIRLEY, MA 01464

FOR REGISTRY USE ONLY

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

DETAIL
 SHEET 6

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

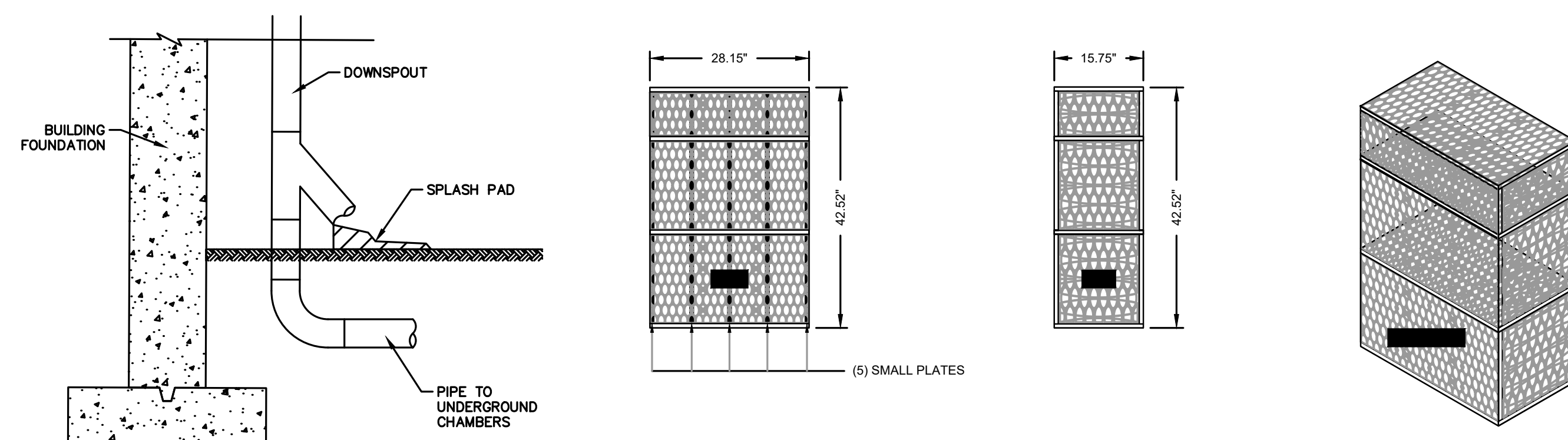
DESIGNED BY: KF

DRAWN BY: KF/MR/NC

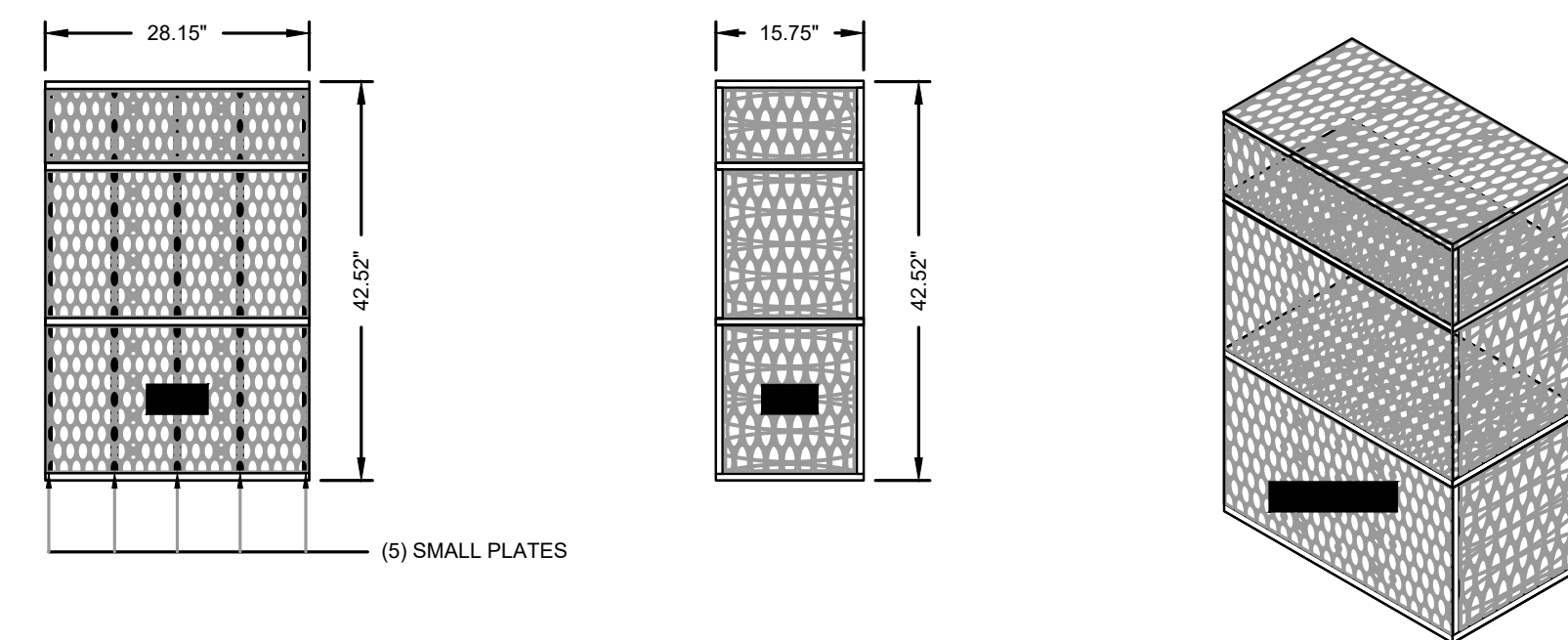
CHECKED BY: KE

C.16

SHEET 16 OF 23

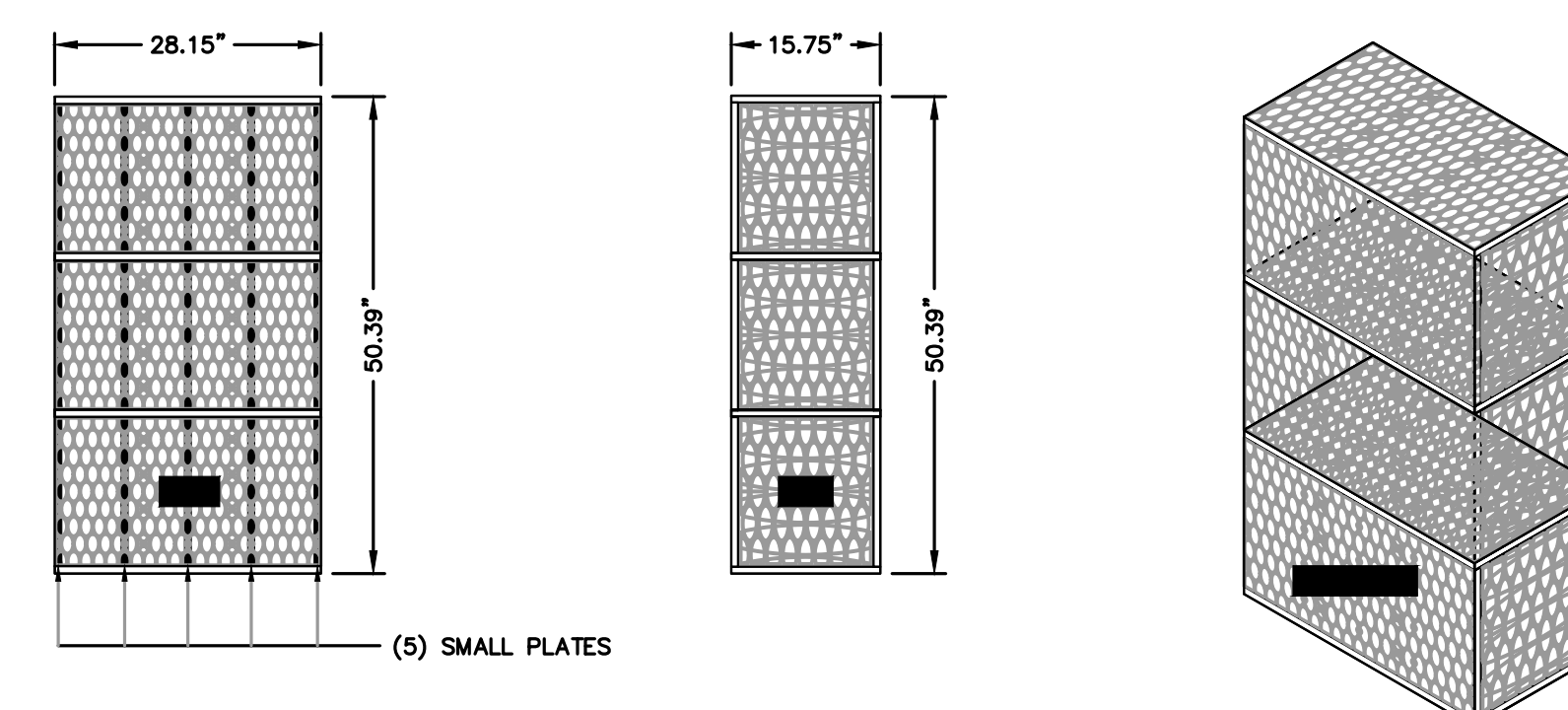


ROOF LEADER CONNECTION DETAIL
 NOT TO SCALE



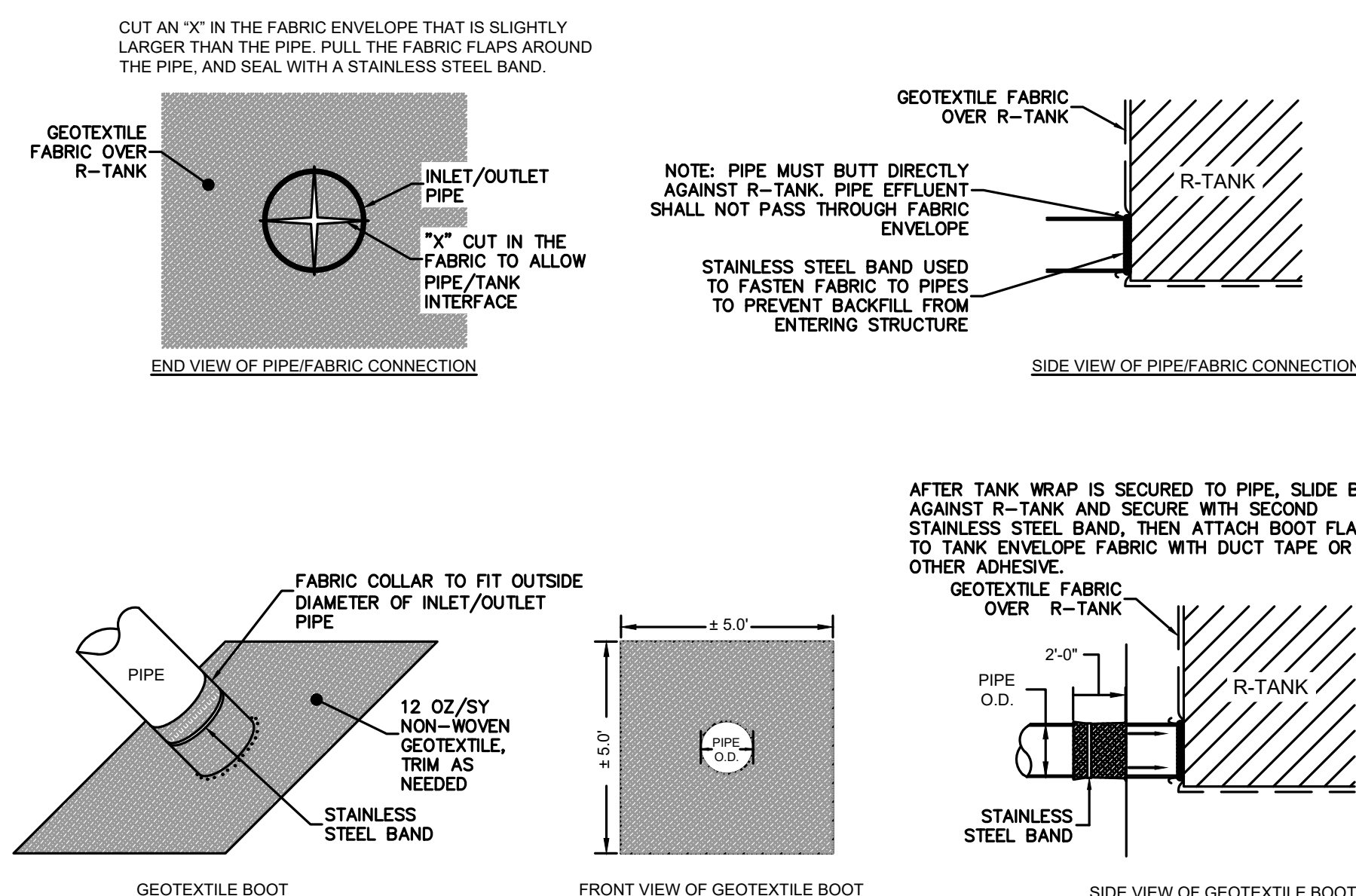
MODULE DATA	
GEOMETRY: LENGTH = 28.15 IN. (715 MM) WIDTH = 15.75 IN. (400 MM) HEIGHT = 42.52 IN. (1080 MM) TANK VOLUME = 10.91 CF STORAGE VOLUME = 10.36 CF VOID INTERNAL VOLUME = 95% VOID SURFACE AREA = 90%	LOAD RATING: 33.4 PSI, (MODULE ONLY) HS20/HS25 - SEE SPECS FOR COVER REQUIREMENTS MATERIAL: 100% RECYCLED POLYPROPYLENE SMALL PLATES REQUIRED: 5/SEGMENT, 15/MODULE

R-TANK^{HD} DOUBLE+MINI MODULE
 NOT TO SCALE



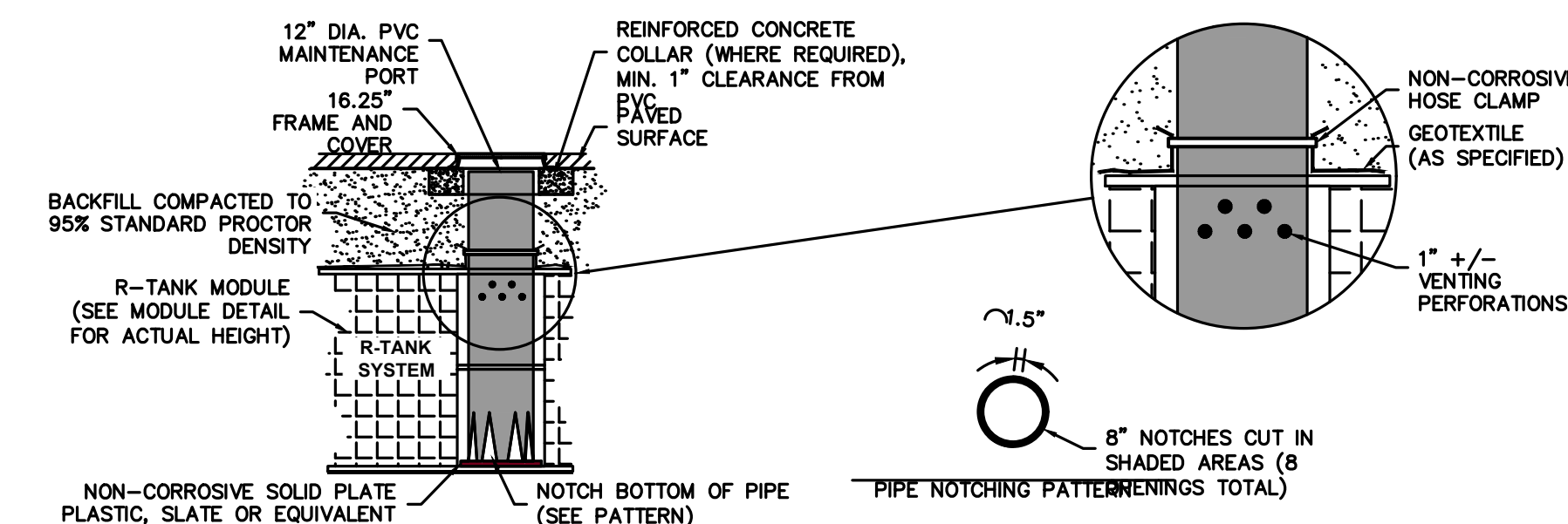
MODULE DATA	
GEOMETRY: LENGTH = 28.15 IN. (715 MM) WIDTH = 15.75 IN. (400 MM) HEIGHT = 90.39 IN. (1280 MM) TANK VOLUME = 12.93 CF STORAGE VOLUME = 12.28 CF VOID INTERNAL VOLUME = 95% VOID SURFACE AREA = 90%	LOAD RATING: 33.4 PSI, (MODULE ONLY) HS20/HS25 - SEE SPECS FOR COVER REQUIREMENTS MATERIAL: 100% RECYCLED POLYPROPYLENE SMALL PLATES REQUIRED: 5/SEGMENT, 15/MODULE

R-TANK^{HD} TRIPLE MODULE
 NOT TO SCALE

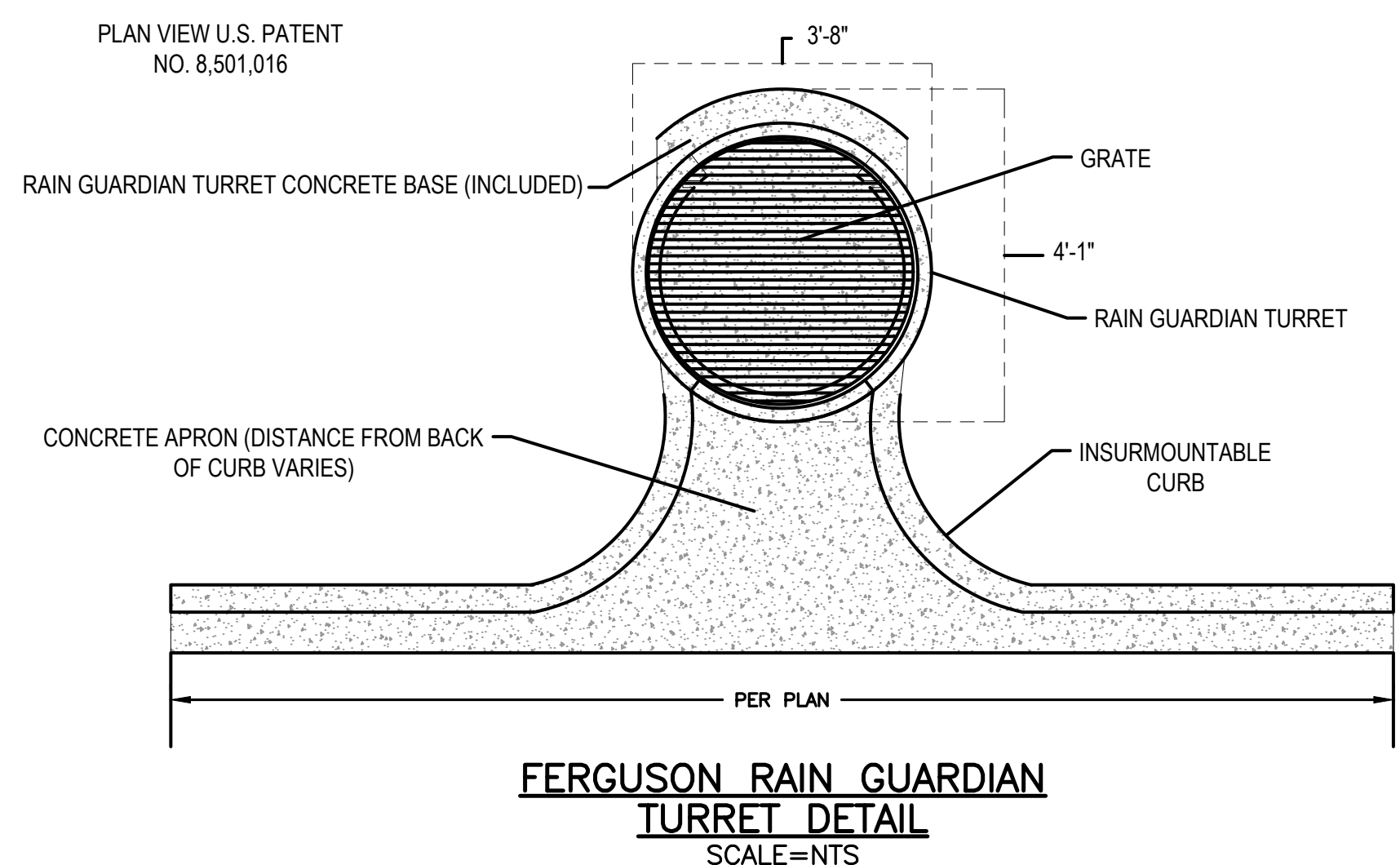


**R-TANK TYPICAL INLET/OUTLET
 W/ GEOTEXTILE BOOT**
 NOT TO SCALE

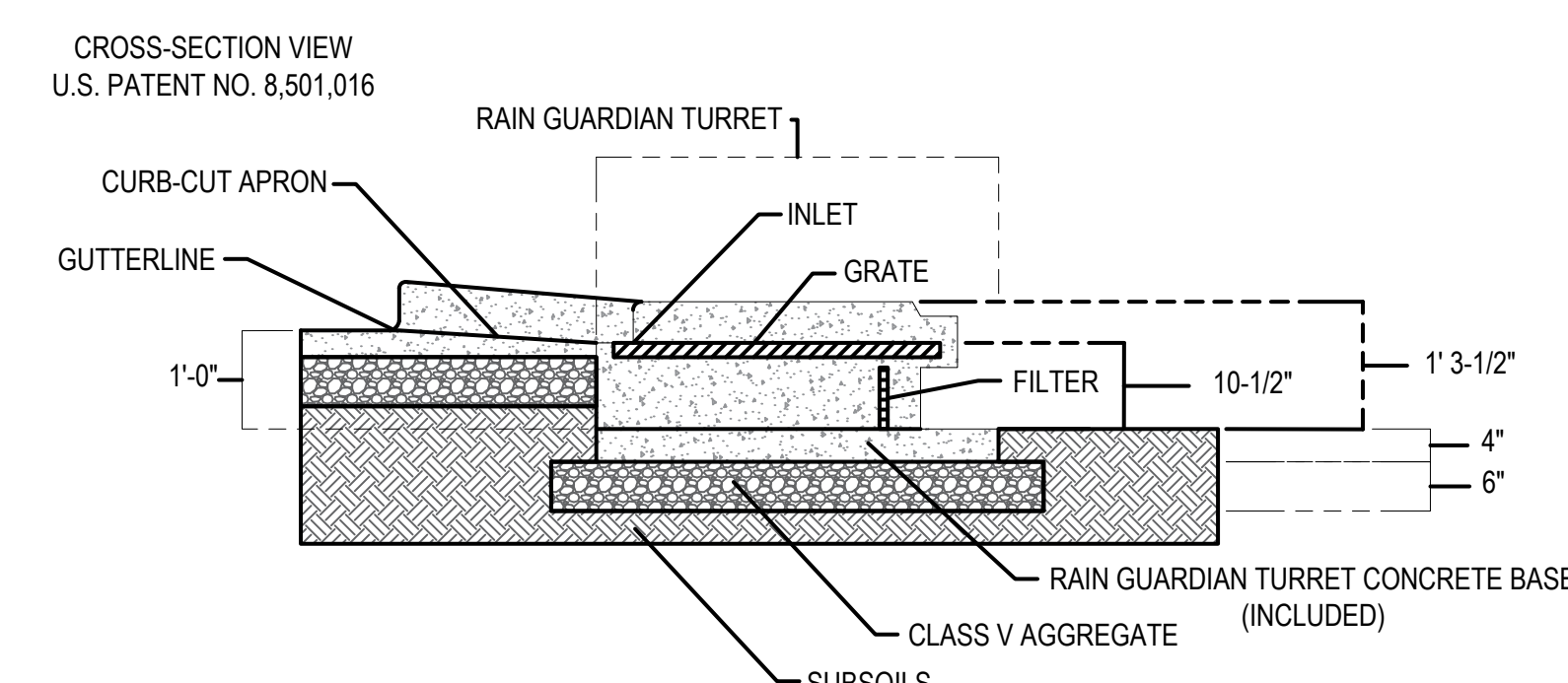
- NOTES**
1. THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT.
 2. MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.
 3. R-TANK^{HD}, R-TANK^{SD}, AND R-TANK^{XD/LD} MAY BE USED IN TRAFFIC APPLICATIONS.
 4. SEE TRAFFIC LOADING DETAIL FOR MINIMUM & MAXIMUM COVER REQUIREMENTS.
 5. IF MAINTENANCE PORT IS LOCATED IN A NON-TRAFFIC AREA, A PLASTIC CAP CAN BE USED IN LIEU OF A FRAME AND COVER WITH CONCRETE COLLAR.



R-TANK^{HD/SD/XD/LD} 12" MAINTENANCE PORT
 NOT TO SCALE



**FERGUSON RAIN GUARDIAN
 TURRET DETAIL**
 SCALE=NTS



FOR ADDITIONAL INFORMATION PLEASE CONTACT:
 FERGUSON WATERWORKS, 1-800-448-3636, www.ferguson.com

DEC APPROVAL

CHAIRPERSON _____ DATE _____



HOWARD STEIN HUDSON
 114 Turnpike Road, Suite 2C
 Chelmsford, MA 01824
 www.hshassoc.com

PREPARED FOR:

JONAS ANGUS
 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

DETAIL
 SHEET 7

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

DESIGNED BY: KF

DRAWN BY: KF/MR/NC

CHECKED BY: KE

C.17

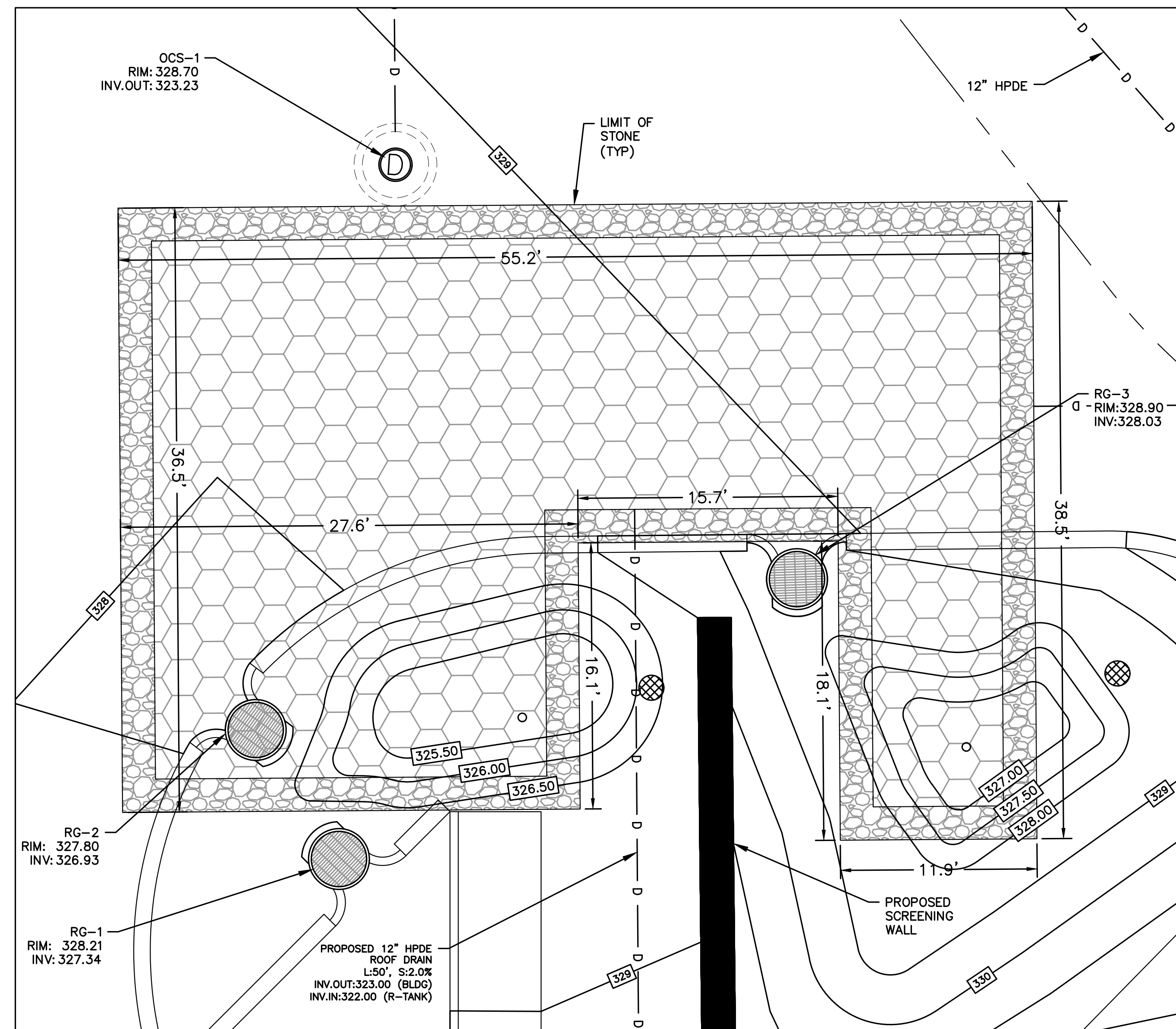
SHEET 17 OF 23

SSIS-1 SYSTEM DETAILS
 PROPOSED LAYOUT INCLUDES 417 R-TANK 3.5 HD
 CHAMBERS INSTALLED WITH A 3" BASE STONE AND
 12" COVER STONE.

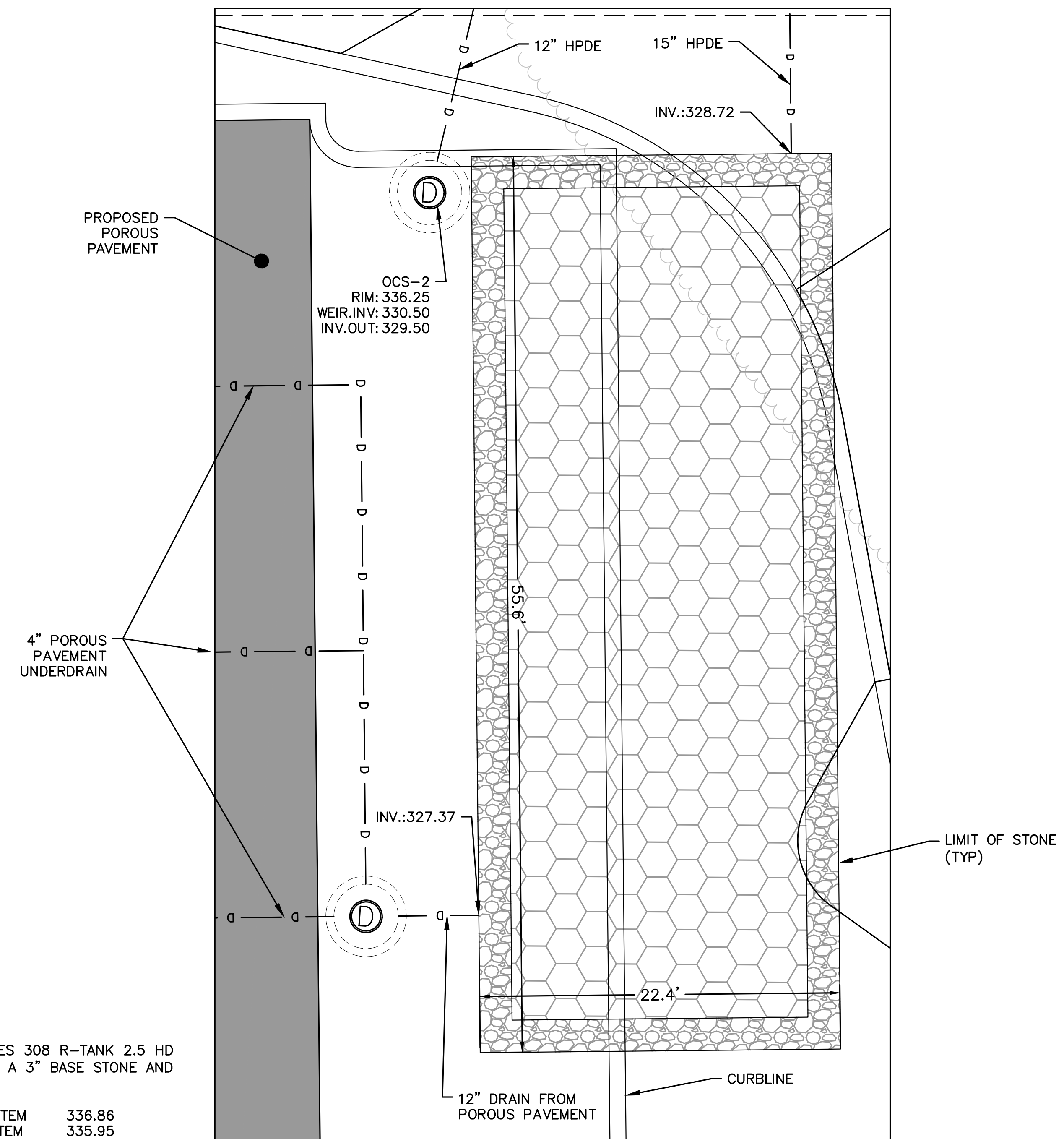
MAXIMUM GRADE OVER SYSTEM	330.25
MINIMUM GRADE OVER SYSTEM	324.92
TOP OF STONE	324.25
TOP OF CHAMBER	323.25
BOTTOM OF CHAMBER	319.05
BOTTOM OF STONE	318.80
ESTIMATED WATER TABLE	314.24

SSIS-2 SYSTEM DETAILS
 PROPOSED LAYOUT INCLUDES 308 R-TANK 2.5 HD
 CHAMBERS INSTALLED WITH A 3" BASE STONE AND
 12" COVER STONE.

MAXIMUM GRADE OVER SYSTEM	336.86
MINIMUM GRADE OVER SYSTEM	335.95
TOP OF STONE	324.25
TOP OF CHAMBER	329.75
BOTTOM OF CHAMBER	326.21
BOTTOM OF STONE	325.96
ESTIMATED WATER TABLE	320.51



**FERGUSON R-TANK SUBSURFACE
 INFILTRATION SYSTEM #1**
 1" = 5'



**FERGUSON R-TANK SUBSURFACE
 INFILTRATION SYSTEM #2**
 1" = 5'

DEC APPROVAL

CHAIRPERSON _____ DATE _____



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REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS

LEVEL II
 SITE PLAN

DETAIL
 SHEET 8

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

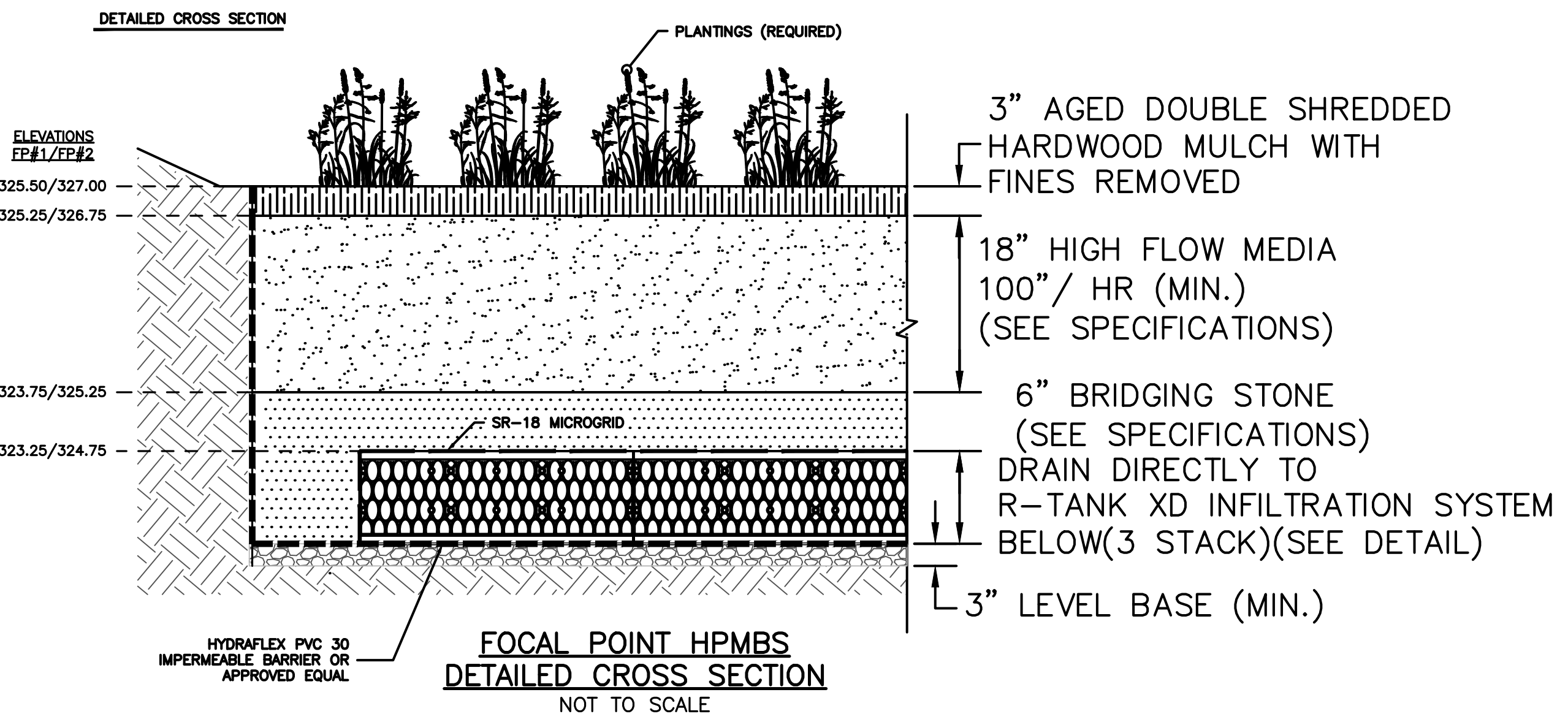
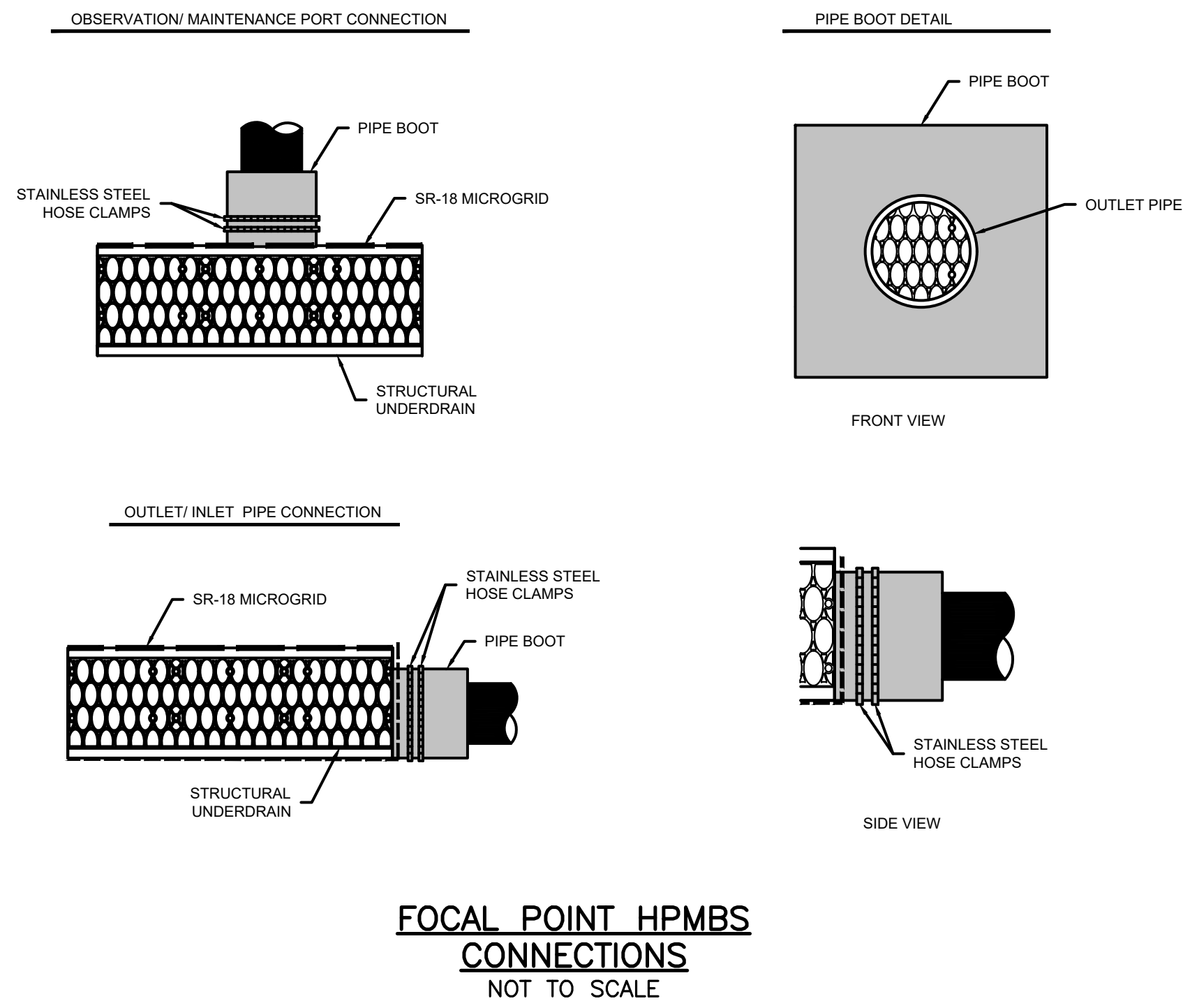
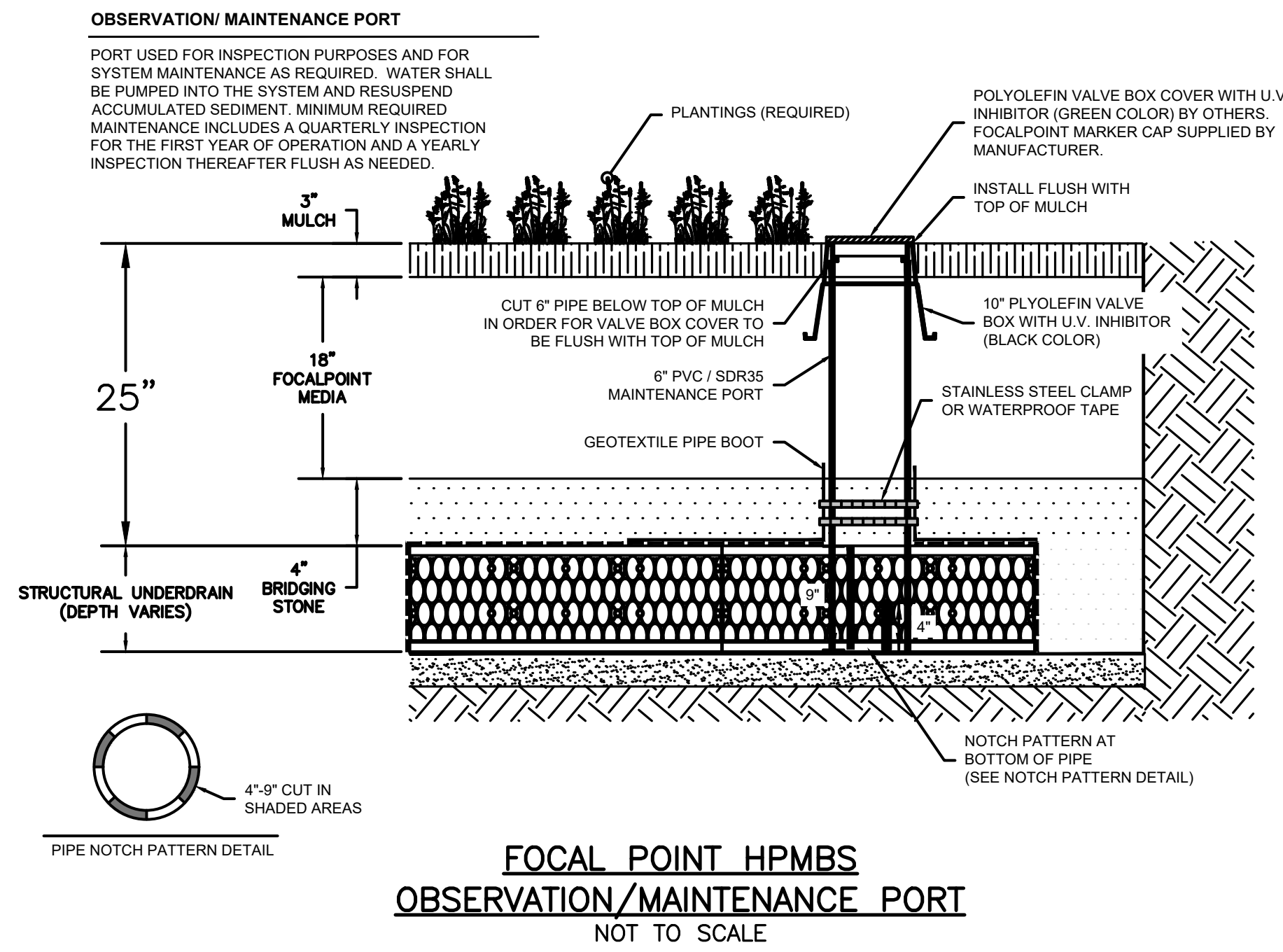
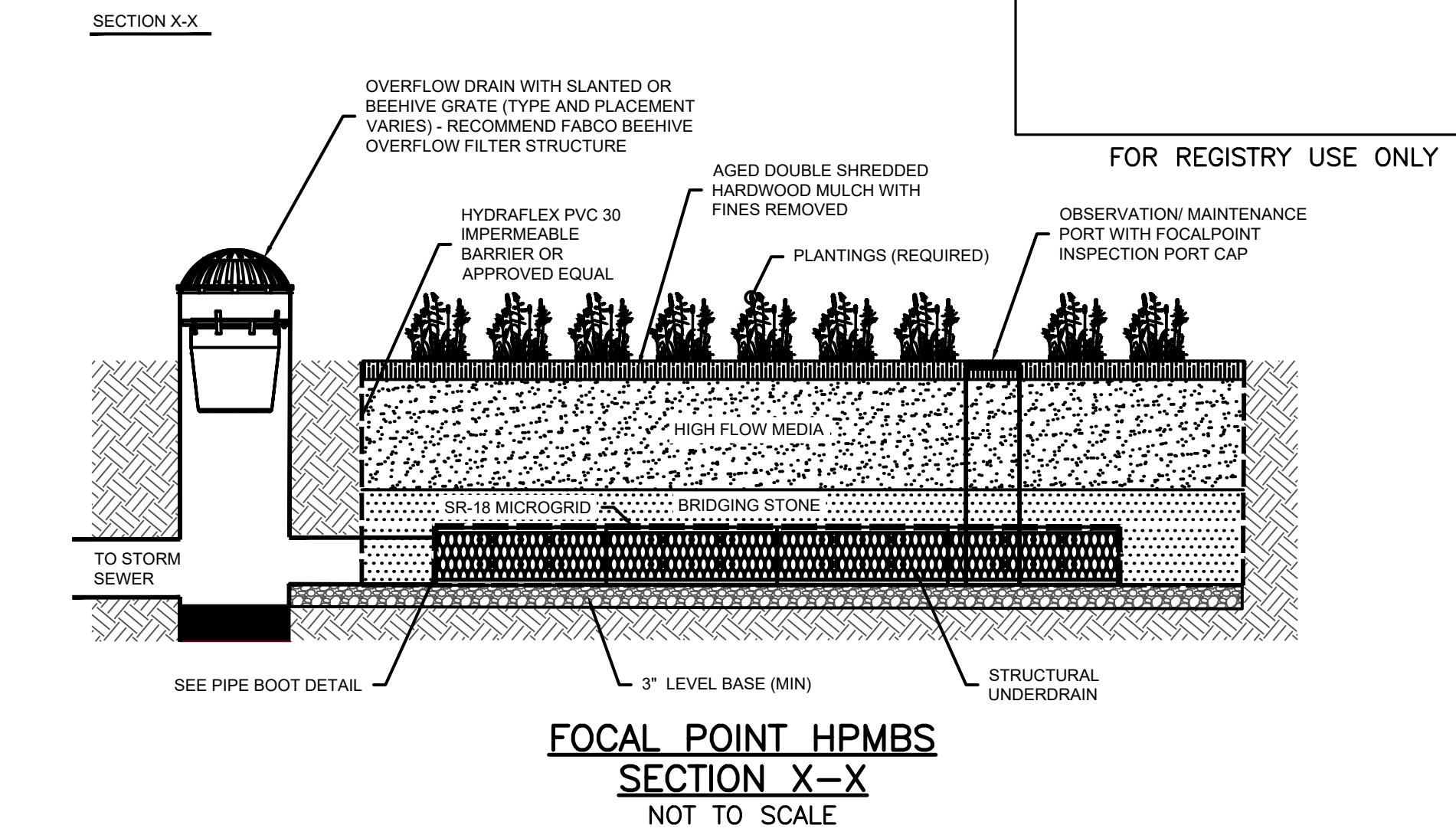
DESIGNED BY: KF

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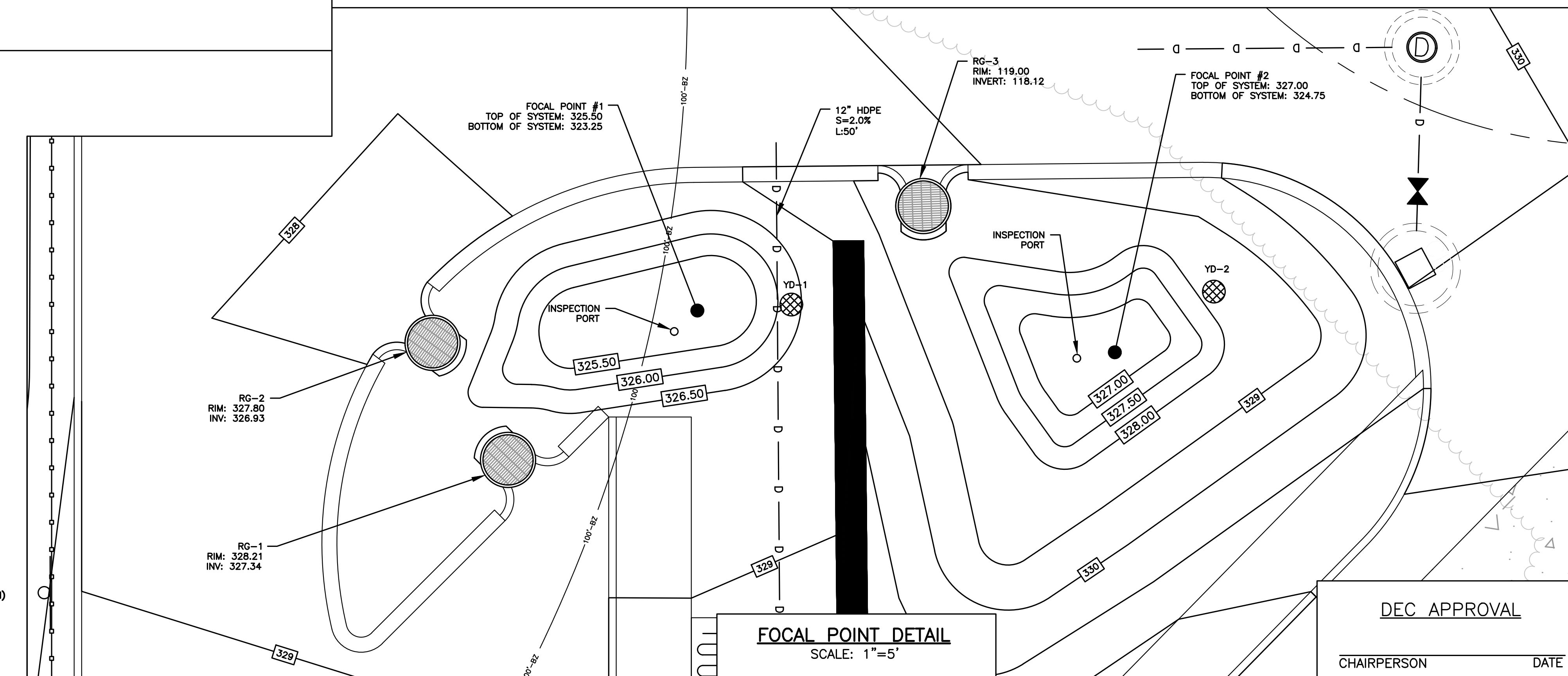
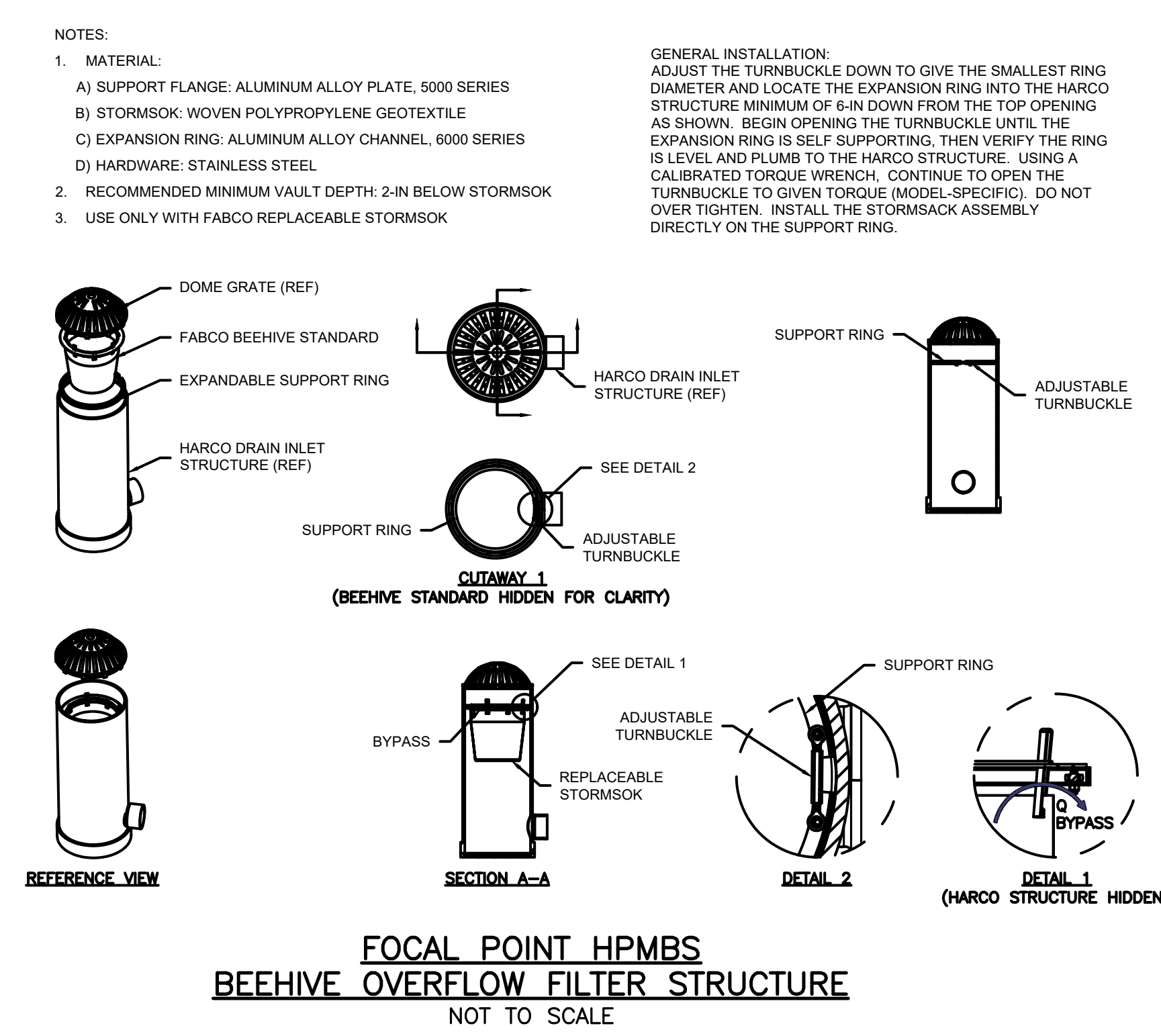
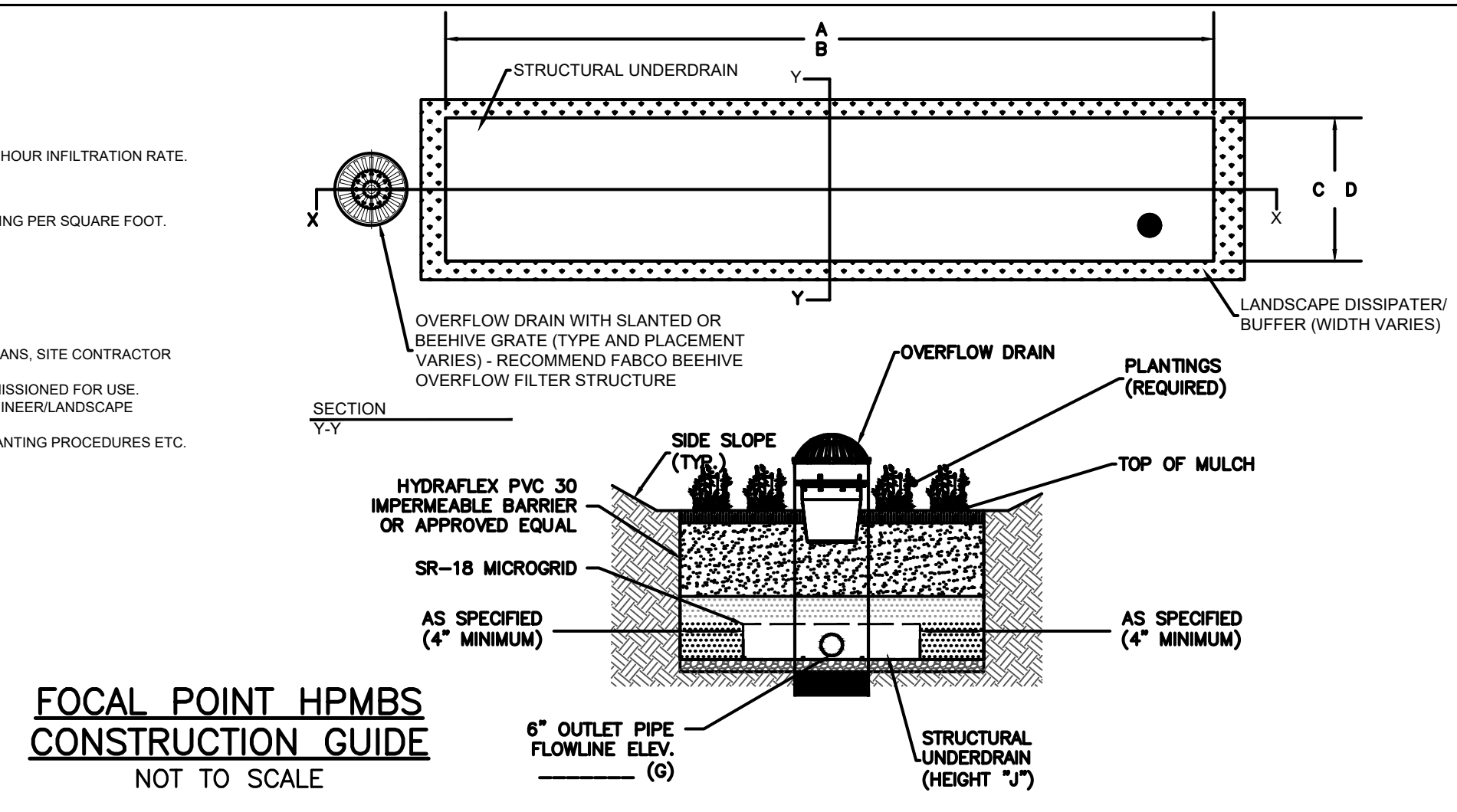
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SHEET 18 OF 23



- FOCALPOINT HPMBs PERFORMANCE SPECIFICATION:**
- HIGH PERFORMANCE MEDIA**
 - HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE.
 - HIGH PERFORMANCE STRUCTURAL UNDERDRAIN**
 - MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT.
 - MUST MEET HS-20 LOADING REQUIREMENTS.
 - MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE.
 - MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.
 - PLANT COMPONENT**
 - SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS.
 - IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT/PLANS, SITE CONTRACTOR SHALL PROVIDE PLANTS.
 - PLANTS SHALL BE INSTALLED AT THE TIME THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT OF RECORD.
 - SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES ETC.



DEC APPROVAL
 CHAIRPERSON _____ DATE _____



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WORCESTER COUNTY

REVISIONS:

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LEVEL II
SITE PLAN

DETAIL
SHEET 9

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

DESIGNED BY: KF

DRAWN BY: KF/MR/NC

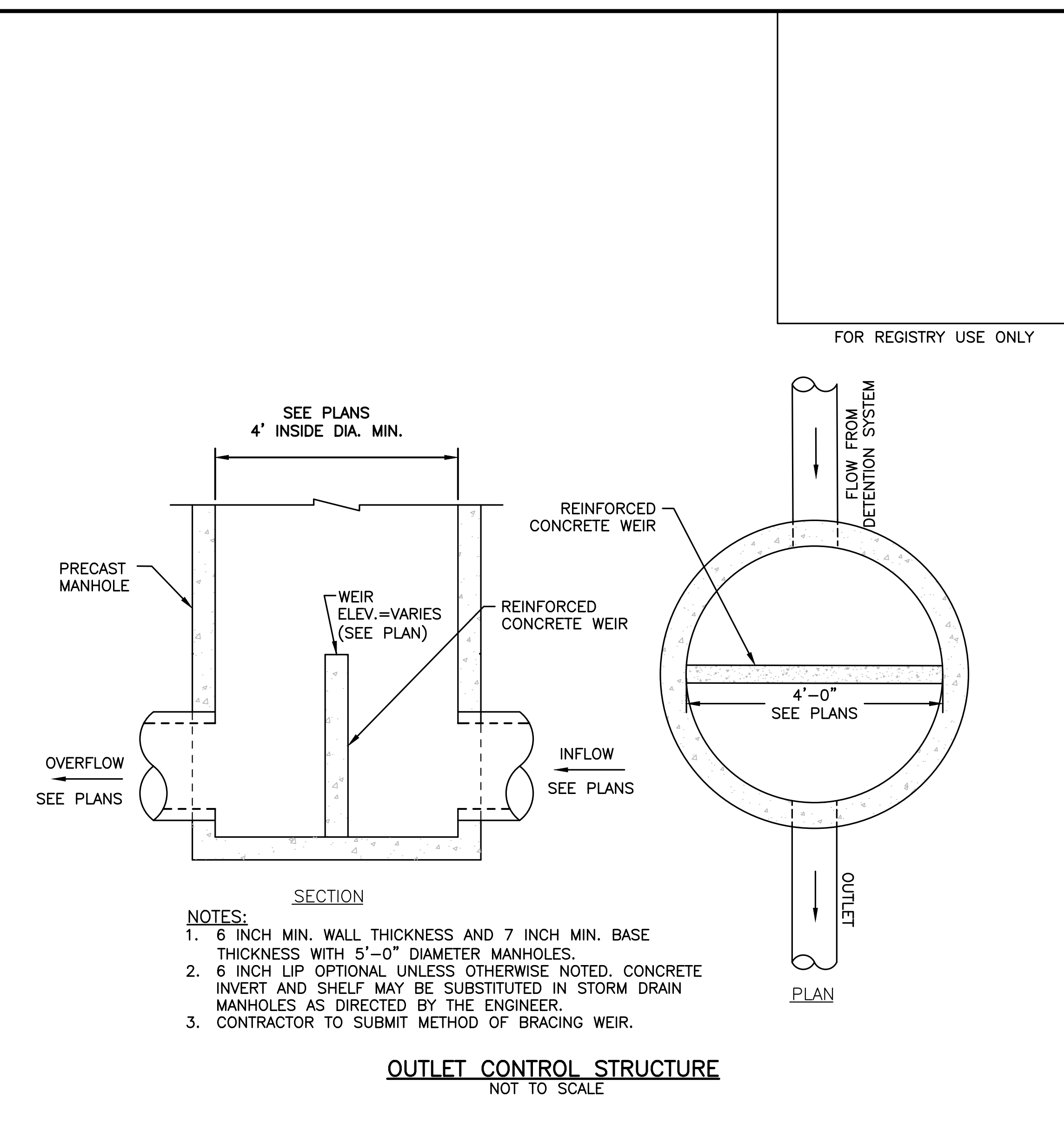
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C.19

SHEET 19 OF 23

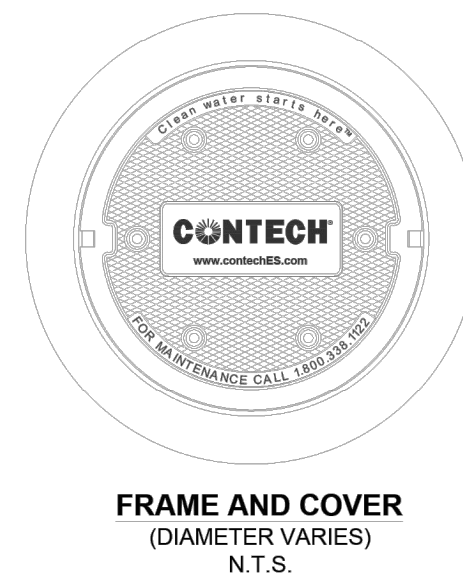
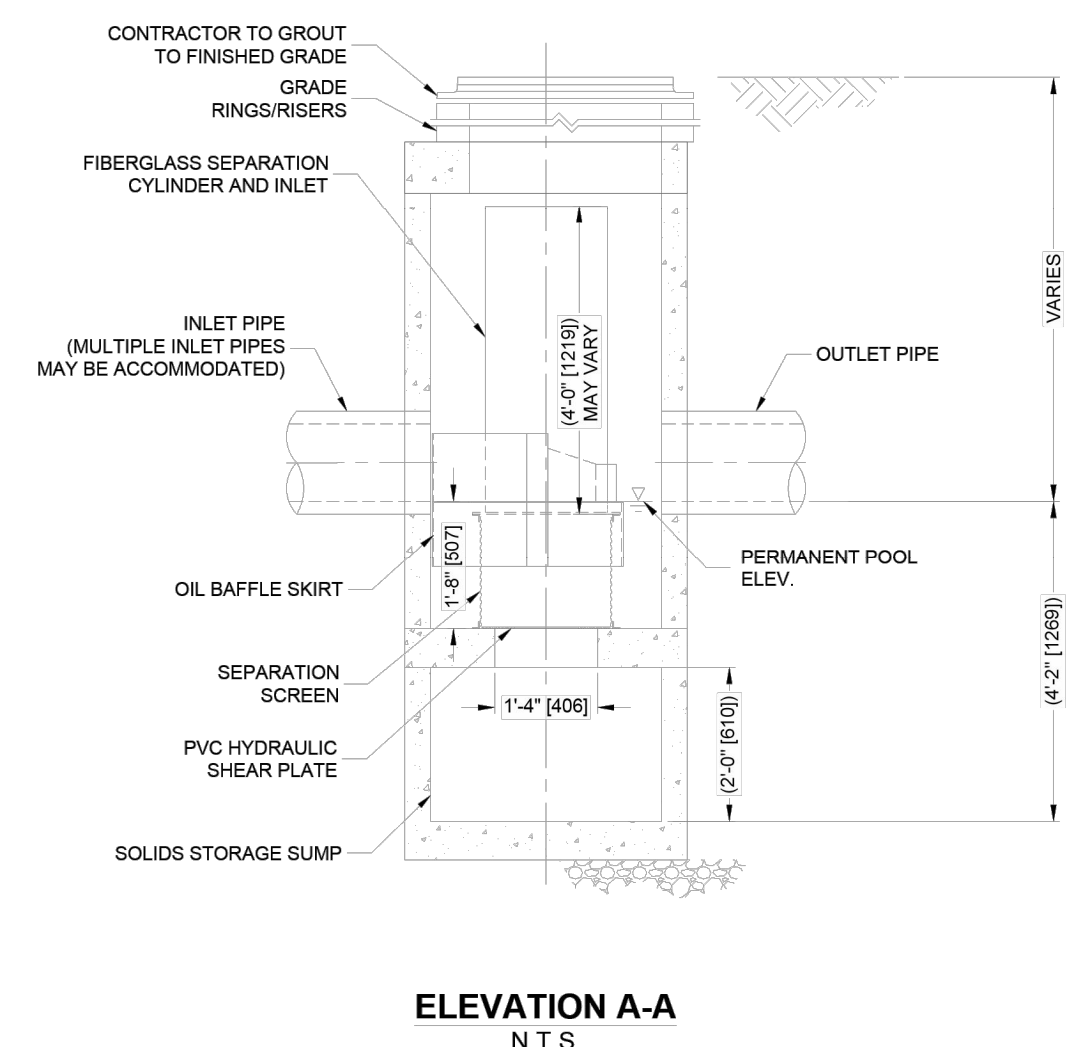
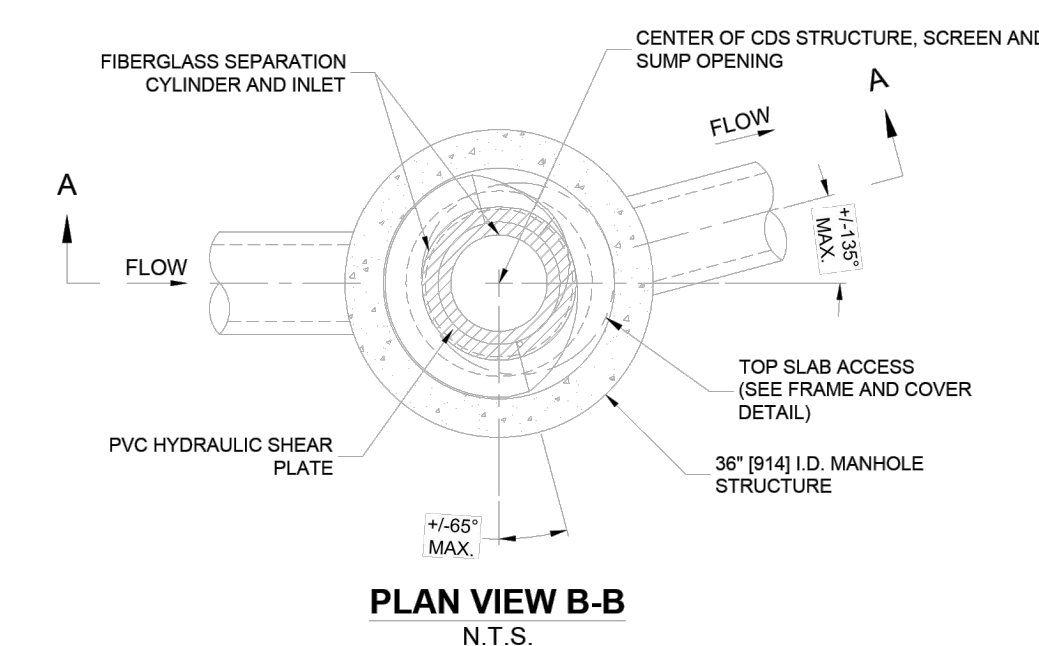
DEC APPROVAL

CHAIRPERSON _____ DATE _____



CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (CFS OR L/s)	PEAK FLOW RATE (CFS OR L/s)	RETURN PERIOD OF PEAK FLOW (YRS)	SCREEN APERTURE (2400 OR 4700)

PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

RIM ELEVATION	ANTI-FLOTATION BALLAST	WIDTH	HEIGHT

NOTES/SPECIAL REQUIREMENTS:
* PER ENGINEER OF RECORD

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 2'-2" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE CONTECH LOGO.
 - IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 - CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

Steel Poles
Square Straight



QUICK LINKS

- Ordering Guide
- Configurations
- Dimensions
- EPA

Mirada Small Area (MRS)
Outdoor LED Area Light



OVERVIEW	
Lumen Package	6,000 - 30,000
Wattage Range	39 - 209
Efficacy Range (LPW)	112 - 163
Weight lbs(kg)	20 (9.1)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCl

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

Mirada Small Wall Sconce Silicone (XWS SIL)
Outdoor LED Wall Light



OVERVIEW	
Lumen Package (lm)	2,000 - 8,000
Wattage Range (W)	13 - 61
Efficacy Range (LPW)	126 - 162
Weight lbs (kg)	10 (4.5)

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions



HOWARD STEIN HUDSON

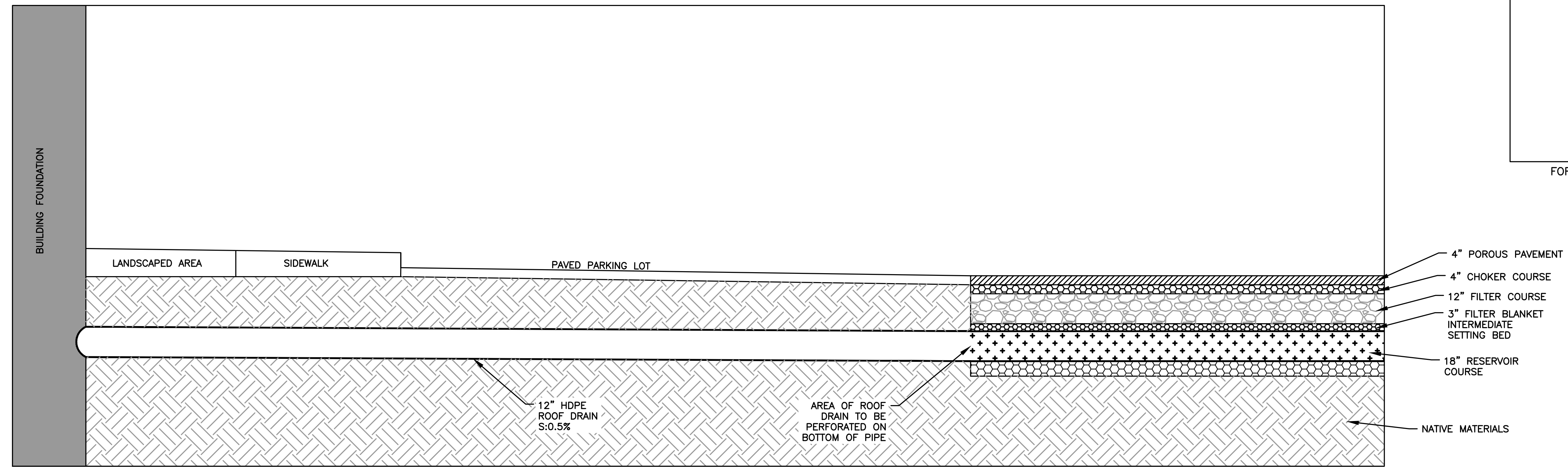
114 Turnpike Road, Suite 2C
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www.hshassoc.com

PREPARED FOR:

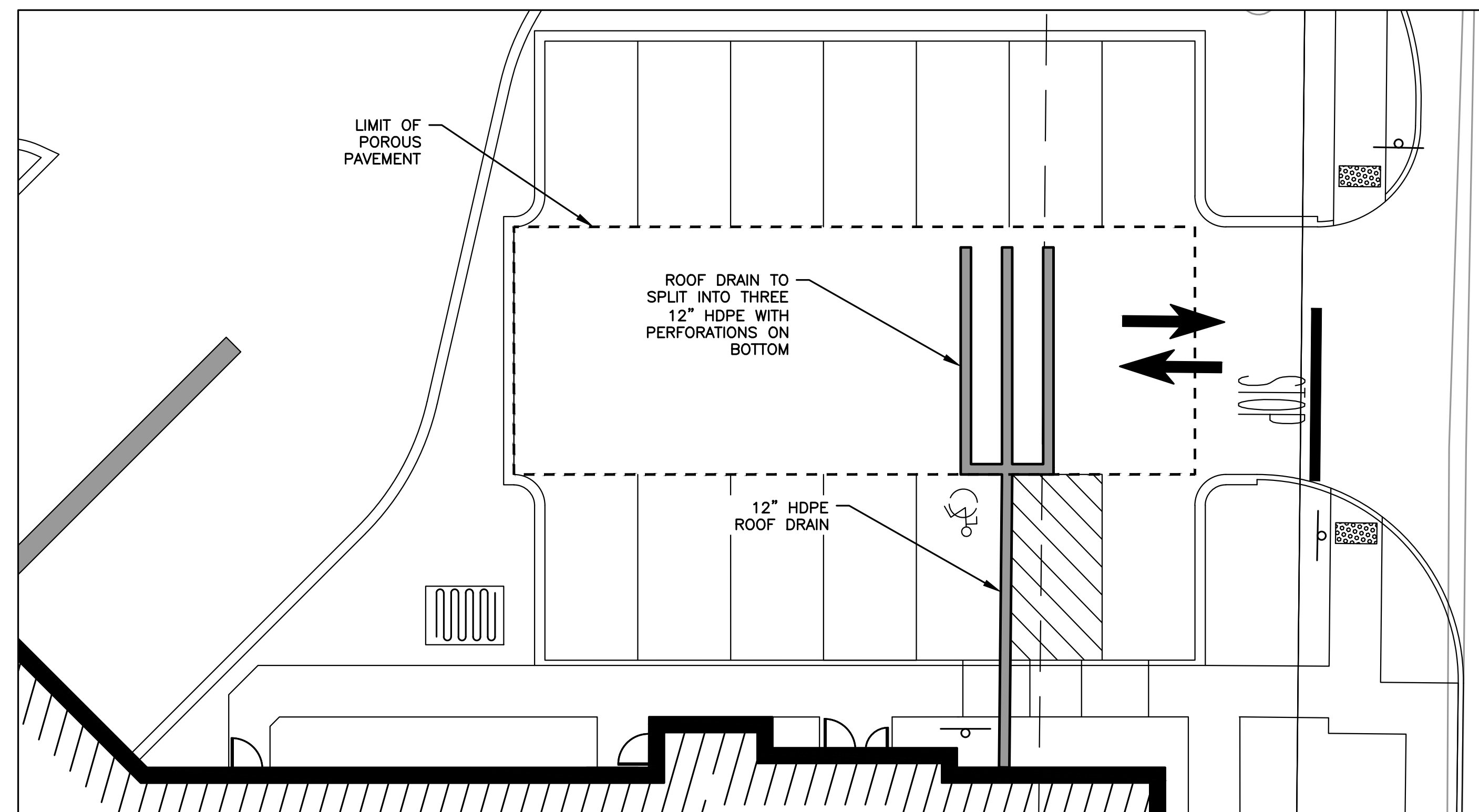
JONAS ANGUS
TPE SOLUTIONS, INC.
3 PATTERSON ROAD, SUITE #2
SHIRLEY, MA 01464

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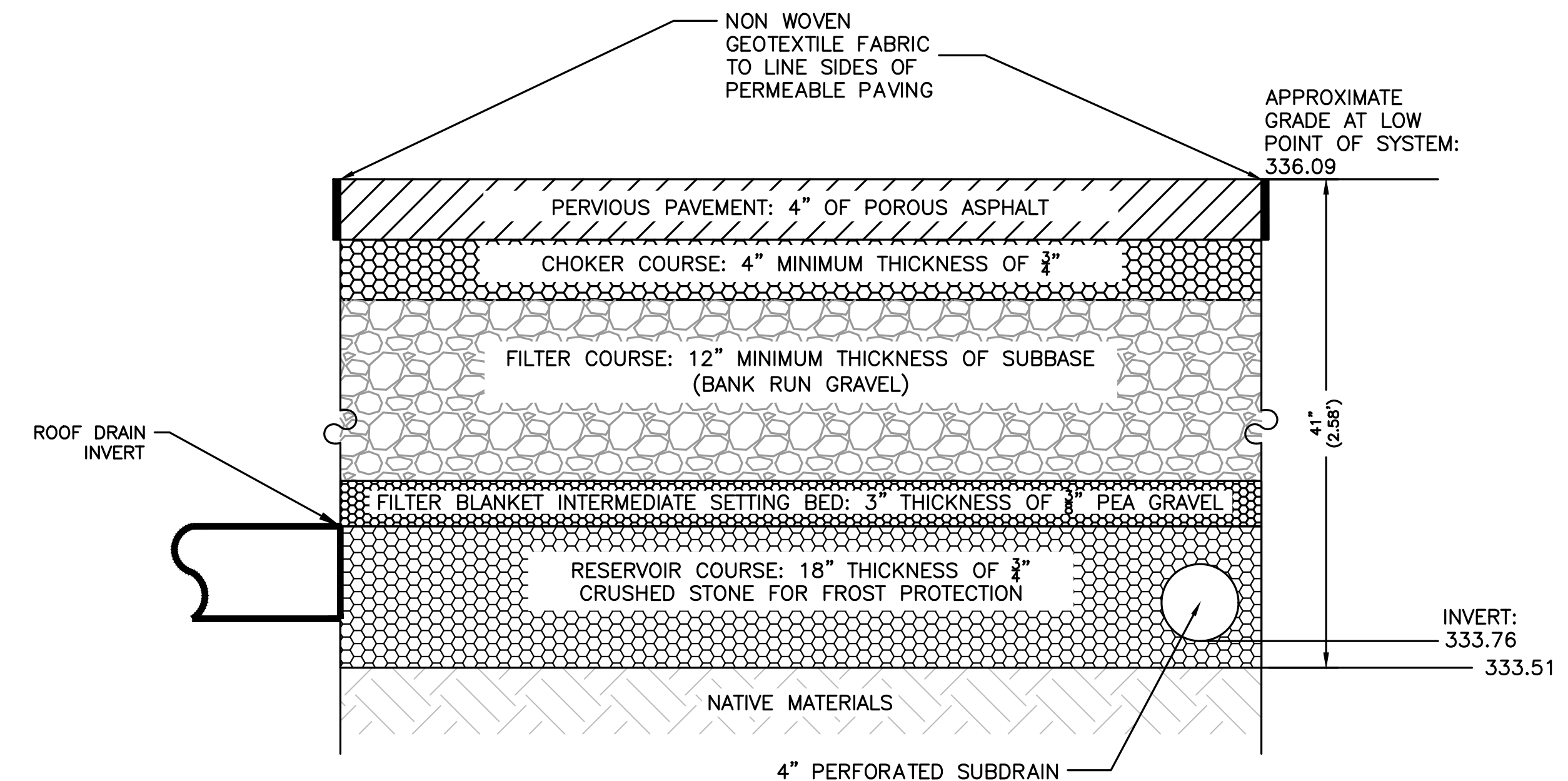
PROPOSED WAREHOUSE
33 LAKE GEORGE STREET
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WORCESTER COUNTY



ROOF DRAIN PROFILE



ROOF DRAIN EXHIBIT



PERMEABLE PAVEMENT SECTION DETAIL
NOT TO SCALE

REVISIONS:

NO	BY	DATE	DESCRIPTION
1	MR	04/19/24	PER COMMENTS



**LEVEL II
SITE PLAN**

**DETAIL
SHEET 10**

DATE: MARCH 11, 2024

PROJECT NUMBER: 22175

DESIGNED BY: KF

DRAWN BY: KF/MR/NC

CHECKED BY: KE

DEC APPROVAL

CHAIRPERSON _____ DATE _____

C.20

SHEET 20 OF 23



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 www.hshassoc.com

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 TPE SOLUTIONS, INC.
 3 PATTERSON ROAD, SUITE #2
 SHIRLEY, MA 01464

PROPOSED WAREHOUSE
 33 LAKE GEORGE STREET
 DEVENS, MA, 01434
 WORCESTER COUNTY

REVISIONS:

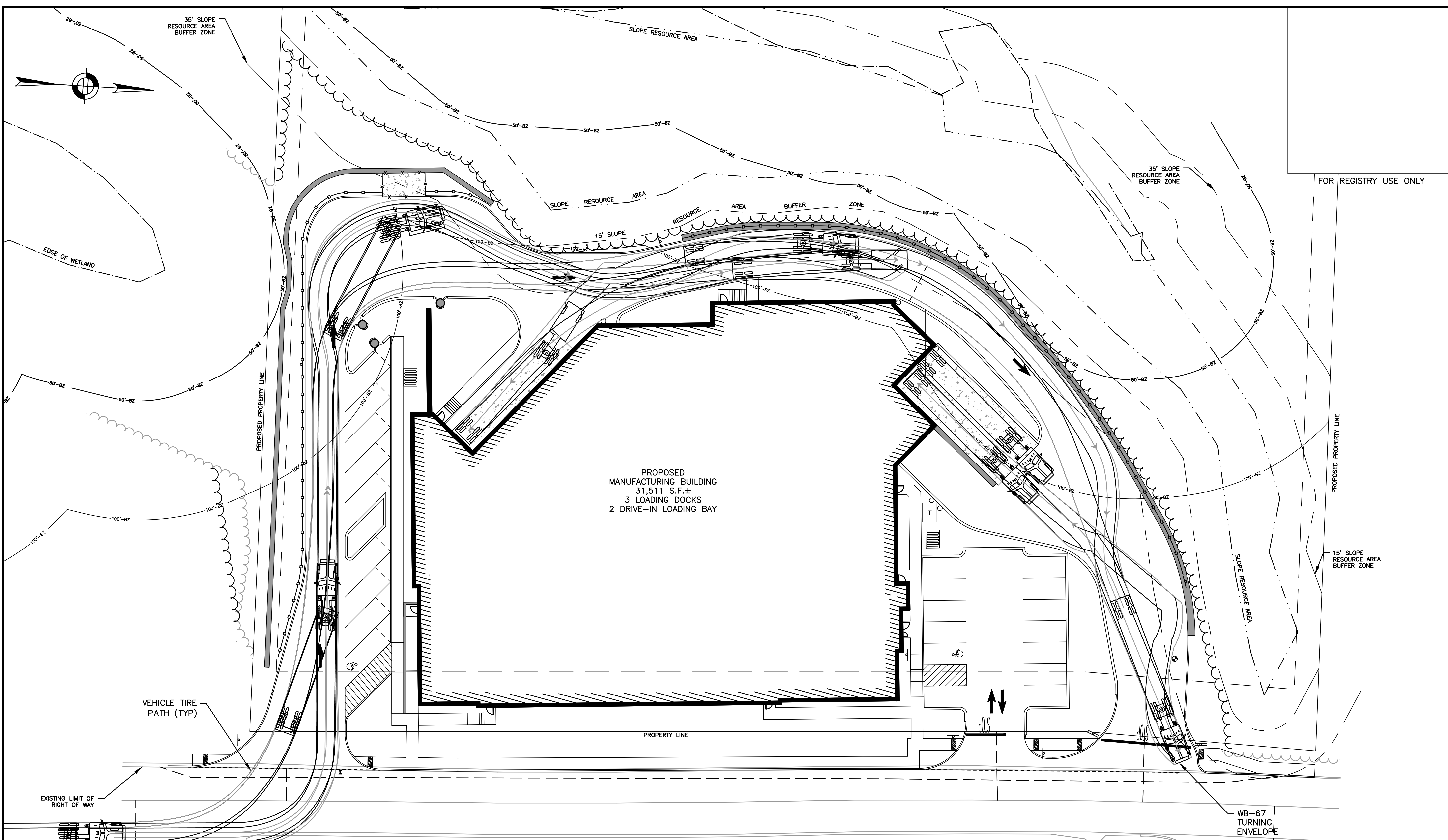
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1	MR	04/19/24	PER COMMENTS



LEVEL II
 SITE PLAN

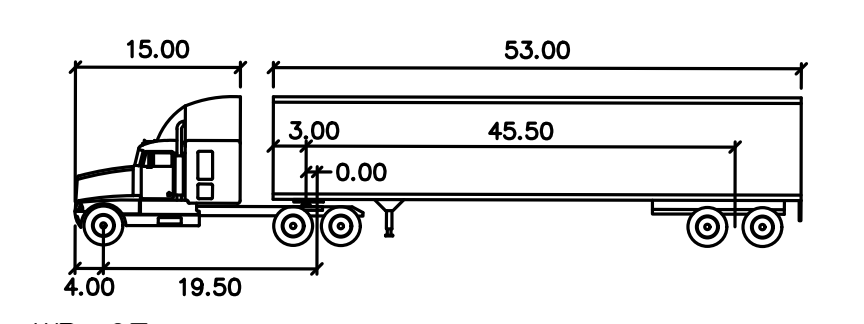
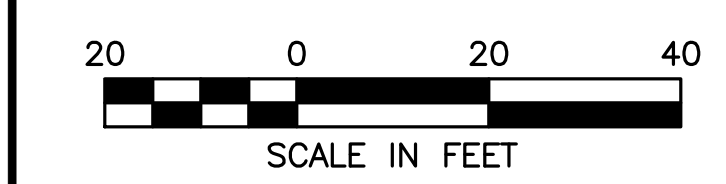
**TRUCK
 TURNING
 PLAN**

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE



TRUCK TURNING NOTES:

- TRUCK TURNING MOVEMENTS SIMULATED USING AUTODESK AUTOTURN 11 FOR CIVIL 3D 2024.

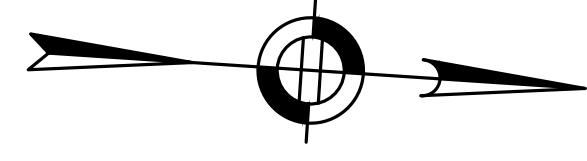


WB-67

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 4.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 75.0

DEC APPROVAL
 CHAIRPERSON _____ DATE _____

4/22/2024 L:\2175\CURRENT\OUTSHEETS\2175 - Site Plan.dwg
 Plot Saved by: KFERREIRA
 Printed by: Max Rogien



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 DEVENS, MA, 01434
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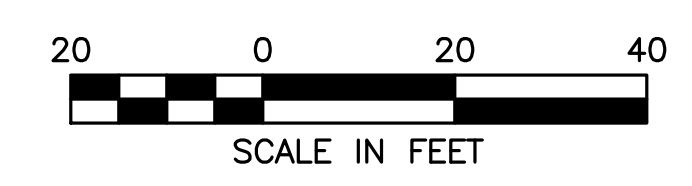
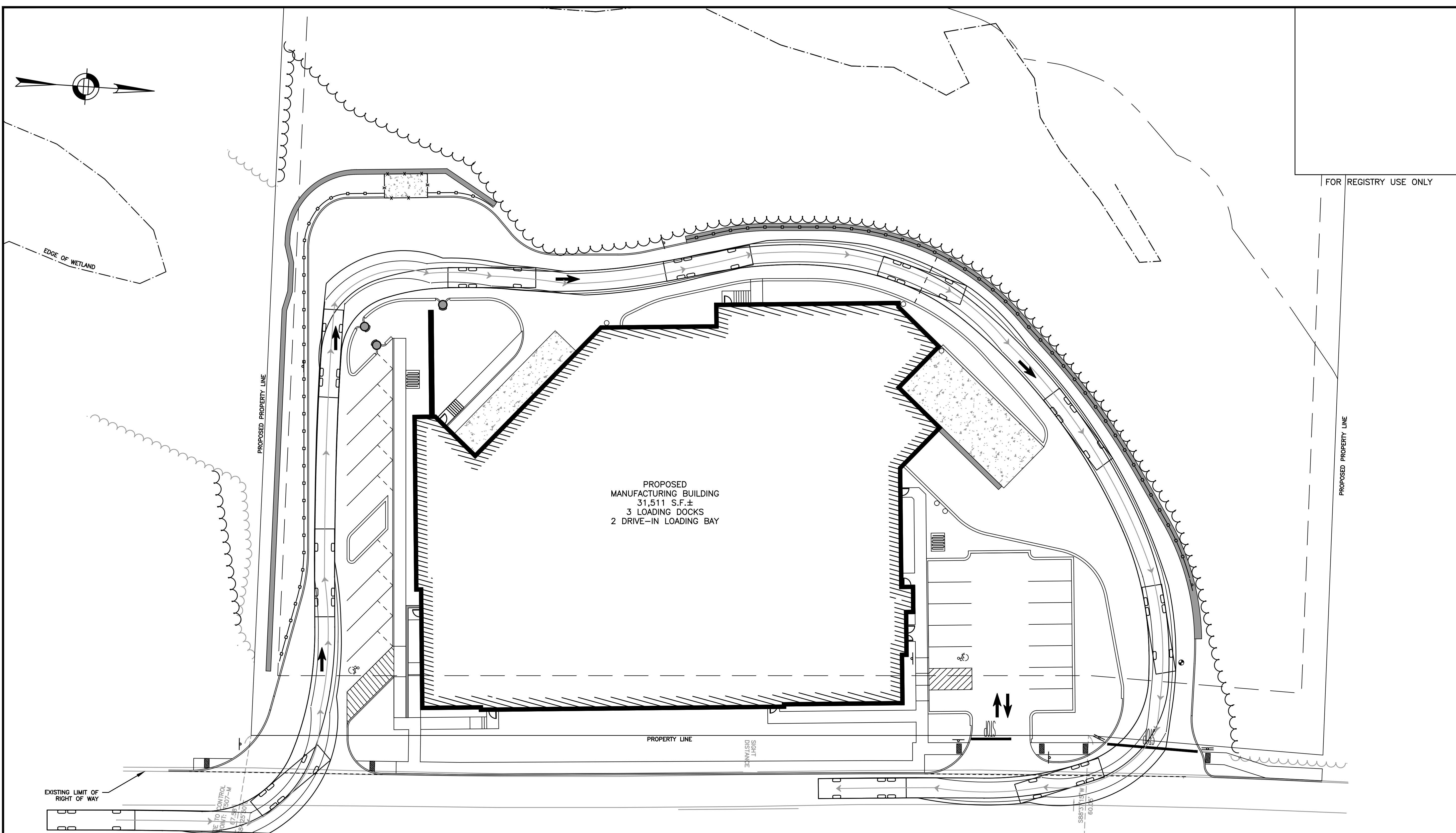
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**LEVEL II
 SITE PLAN**

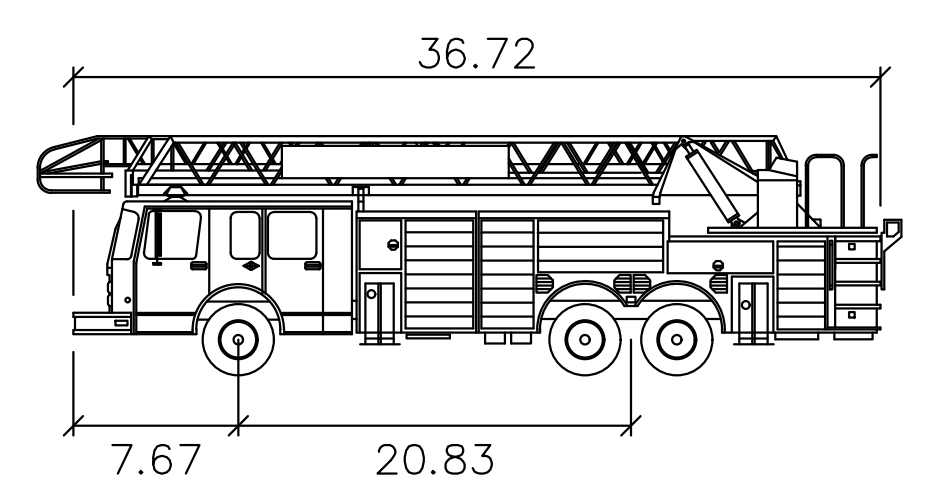
**TOWER TRUCK
 TURNING PLAN**

DATE:	MARCH 11, 2024
PROJECT NUMBER:	22175
DESIGNED BY:	KF
DRAWN BY:	KF/MR/NC
CHECKED BY:	KE



DEC APPROVAL

CHAIRPERSON _____ DATE _____

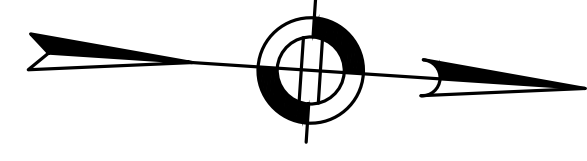


Fire-Devens Tower

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 40.8

EXISTING OPEN SPACE EASEMENT

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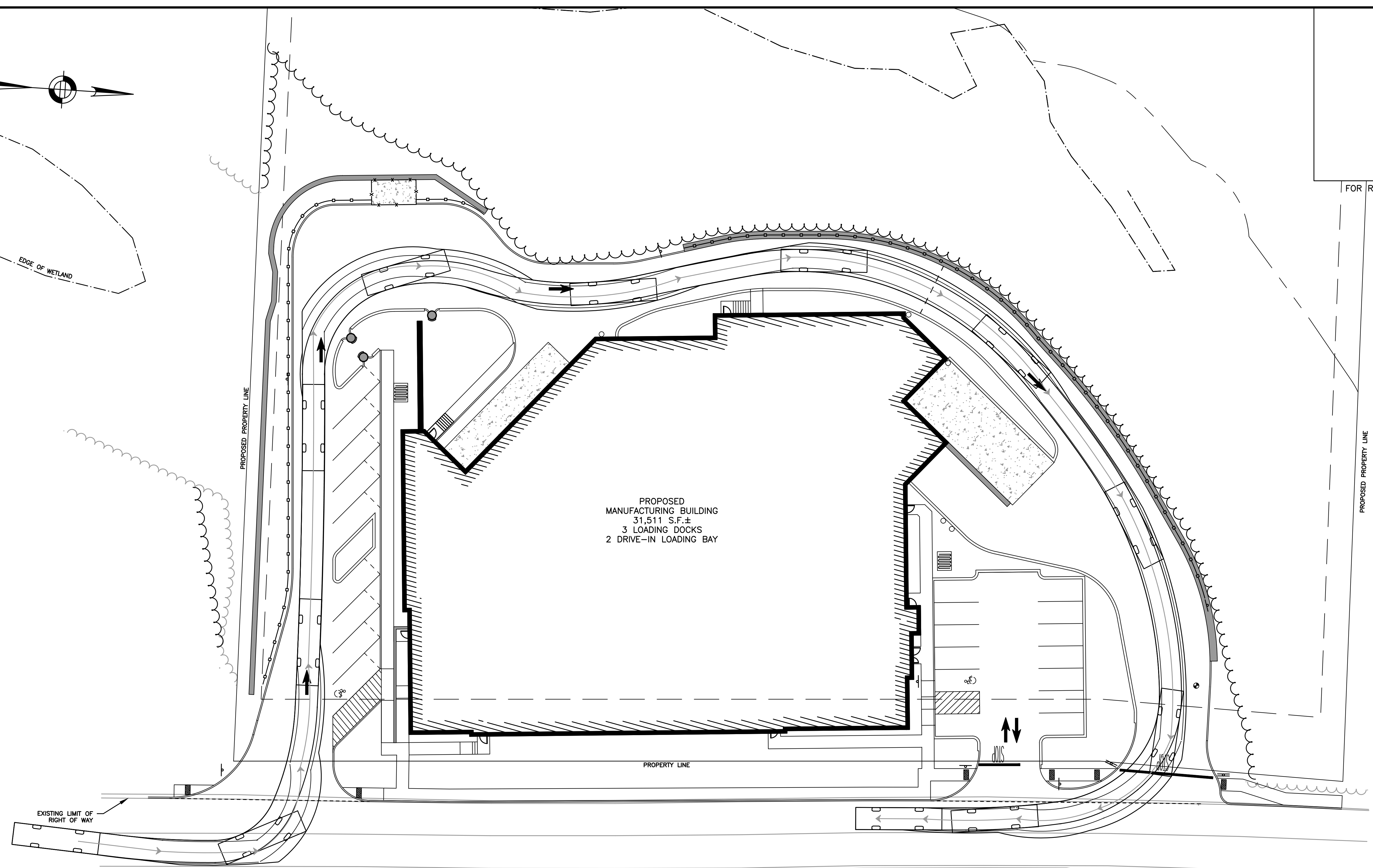


LEVEL II
 SITE PLAN

ENGINE 4
 TURNING PLAN

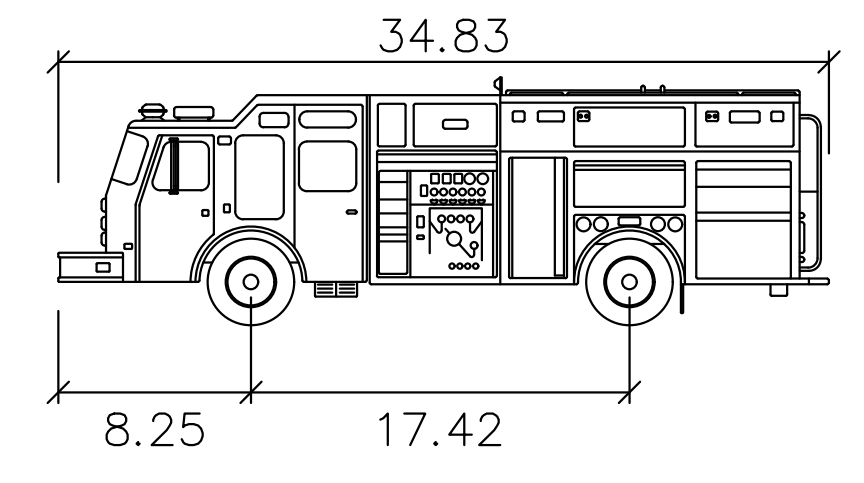
DATE: MARCH 11, 2024
 PROJECT NUMBER: 22175
 DESIGNED BY: KF
 DRAWN BY: KF/MR/NC
 CHECKED BY: KE

C.23
 SHEET 23 OF 23



DEC APPROVAL

CHAIRPERSON _____ DATE _____



Fire-Devens Engine 4feet
 Width : 8.92
 Track : 8.92
 Lock to Lock Time : 6.0
 Steering Angle : 33.7

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